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WORLD'S GREATEST  
BUILDING PAPER

AND BUILDING AGE

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*This Issue*

Home Planning Ideas For Better Postwar Living

# IT PAYS TO FEATURE THE LEADER!

# CELOTEX

The Brand of Building Products Your Customers Accept with Confidence

IT'S TRUE in any field. It's true of any line. When you feature the *leader*, your rewards are greater!

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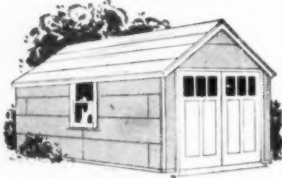
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Architect: Arthur E. Thomas

Photos: Rhoton Gilbert



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Army ..... Panama Canal Zone  
 Army ..... Paraiso, Panama Canal Zone  
 Navy Housing ..... Norfolk, Virginia  
 Army ..... Camp Blanding, Florida  
 Army ..... Indiantown Gap, Pennsylvania  
 Army ..... Tullahoma, Tennessee  
 Navy Housing, 2nd Project ..... Norfolk, Va.  
 Army ..... Ft. George Meade, Maryland  
 Navy Housing ..... Yorktown, Virginia  
 Army ..... Camp Lee, Virginia  
 Army ..... March Field, California  
 Navy Housing ..... Long Beach, California  
 Navy Housing ..... San Diego, California  
 Marine Corps Housing ..... Quantico, Virginia  
 Navy Housing ..... Yukon, Florida  
 Army ..... Westover Field, Massachusetts

War Housing ..... Bristol, Pennsylvania  
 War Housing ..... Charleston, South Carolina  
 Dormitories ..... Norfolk, Virginia  
 Dormitories ..... Newport News, Virginia  
 Dormitories ..... Mineville, New York  
 War Housing ..... Atlanta, Georgia  
 Dormitories ..... Neville Island, Pennsylvania  
 War Housing, 3rd Project ..... Groton, Conn.  
 War Housing ..... Vancouver, Washington  
 War Housing, 4th Project ..... Groton, Conn.  
 Army ..... Walnutport, Arkansas  
 Army ..... Neshota, Alabama  
 Navy ..... Melbourne, Florida

Navy ..... Overseas Construction  
 War Housing ..... Arlington, Virginia  
 War Housing ..... New Britain, Connecticut  
 War Housing ..... Elmira, New York  
 War Housing, 2nd Project ..... Detroit, Michigan  
 War Housing ..... Battle Creek, Michigan  
 War Housing ..... Midland, Michigan  
 War Housing, 2nd Project ..... Dayton, Ohio  
 Trailers ..... Bourbon, Indiana  
 War Housing ..... Rosslyn, Virginia  
 War Housing ..... East Hartford, Connecticut

## THIS IS OUR WAR RECORD — AND YOURS!

**I**N HOSPITALS . . . in military buildings . . . in war housing both here and abroad, the construction projects where Upson Panels have been used literally dot the map of the world.

In all climates, more often in the hands of unskilled labor, and usually under the most difficult conditions, Upson Panels have demonstrated amazing qualities — certain to be extremely valuable in postwar construction and modernization.

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 Navy Housing ..... Lakehurst, New Jersey  
 Navy Housing ..... Orange, Texas  
 Navy Housing ..... Corpus Christi, Texas  
 Navy Housing ..... Balboa, Panama Canal Zone  
 Navy Housing, Coco Solo, Panama Canal Zone  
 Navy Housing ..... Guantanamo, Cuba  
 Navy Housing ..... Quonsett, Rhode Island  
 Navy ..... Guantanamo, Cuba  
 War Housing ..... Groton, Conn.  
 War Housing, 2nd Project ..... Groton, Conn.  
 War Housing ..... Sidney, New York  
 Army ..... Fort Bragg, North Carolina  
 Army ..... Camp Joseph T. Robinson, Arkansas  
 Navy ..... Overseas Hospital Units  
 Army ..... Decatur, Alabama  
 Army ..... Howard Field, Panama Canal Zone  
 Army ..... Quarry Heights, Panama Canal Zone  
 Army ..... Albrook Field, Panama Canal Zone  
 Army ..... Bermuda Island  
 Navy ..... Indian Head, Maryland  
 Lend Lease to England  
 Army Housing ..... Louisville, Kentucky  
 War Housing ..... Washington, D. C.  
 War Housing ..... Norfolk, Virginia  
 War Housing, 2nd Proj. .... Washington, D. C.  
 Navy Housing ..... Groton, Connecticut  
 Army Housing ..... Pine Camp, New York  
 Navy Housing, 2nd Project ..... Yukon, Florida  
 Army, 2nd Project ..... Ft. Bragg, No. Carolina  
 Navy Housing ..... Banana River, Florida  
 Navy Housing ..... Otis, Florida  
 Navy Housing, Green Cove Springs, Florida  
 Army ..... Iceland  
 War Housing ..... Macon, Georgia  
 Navy ..... Washington, D. C.  
 War Housing ..... Evansville, Indiana

War Housing ..... Dayton, Ohio  
 War Housing ..... Wellston, Georgia  
 Dormitories ..... Springfield, Vermont  
 Army ..... Las Vegas, New Mexico  
 Army ..... Camp Perry, Ohio  
 War Housing ..... Rockford, Illinois  
 Army ..... Oriana, Virginia  
 Army ..... Kingsbury, Indiana  
 Army Engineers ..... Providence, R. I.  
 Army ..... White Station, Tennessee  
 Army ..... Forsythe, Tennessee  
 Trailers & Mobile Houses, Flint-Saginaw, Mich.  
 Army ..... Centerville, Mississippi  
 Dormitories ..... Elkton, Maryland  
 Navy ..... Sampson, New York  
 War Housing ..... South Portland, Maine  
 War Housing, 3rd Proj. .... Washington, D. C.  
 Army ..... Jonesboro, Arkansas  
 War Housing ..... Burns City, Indiana  
 War Housing ..... Seneca, Illinois  
 Army ..... Chambersburg, Pennsylvania  
 War Housing ..... Pittsfield, Massachusetts  
 War Housg., 2nd Proj., Charleston, S. Carolina  
 War Housing ..... Middle River, Maryland  
 War Housing ..... Detroit, Michigan  
 War Housing ..... Ypsilanti, Michigan



This is only part of the story. Many other millions of feet have been used indirectly for war purposes. In addition, still other millions of feet have gone for military uses which can not be revealed now.

Trailers ..... Vicksburg, Mississippi  
 War Housing ..... Stratford, Connecticut  
 War Housing ..... Niagara Falls, New York  
 War Housing ..... Muskegon, Michigan  
 War Housing, 3rd Project ..... Dayton, Ohio  
 War Housing, 3rd Project ..... Detroit, Michigan  
 War Housing ..... Ecorse, Michigan  
 War Housing ..... Bay City, Michigan  
 War Housing, 3rd Project ..... Norfolk, Virginia  
 War Housing ..... Hartford, Connecticut  
 War Housing ..... Marietta, Georgia  
 Trailers ..... Chicago, Illinois  
 War Housing ..... South Arlington, Virginia  
 War Housing, 2nd Project, Hartford, Conn.  
 War Housing ..... Dodson, Missouri  
 Navy ..... Hospital Units, Distributed  
 Army Engineers, Overseas Task Force Bldgs. Distributed  
 War Housing, 2nd Project ..... Ypsilanti, Michigan  
 War Housing, 4th Project ..... Detroit, Michigan  
 War Housing ..... Bruning, Nebraska  
 War Housing ..... Geneva, Nebraska  
 Navy ..... Bainbridge, Maryland  
 Trailers ..... Chicago, Illinois  
 War Housing ..... Houston, Texas  
 War Housing ..... Camp McCain, Mississippi  
 War Housing ..... Biloxi, Mississippi  
 Navy ..... Sewalls Point, Virginia  
 Navy ..... Brooklyn, New York  
 Navy, Overseas Task Force Bldgs., Distributed  
 Navy ..... San Diego, California  
 Navy, 2nd Project ..... Sampson, New York  
 Navy ..... Rosslyn, Virginia  
 Marine Corps, 2nd Project ..... Quantico, Virginia  
 War Housing ..... Benton Harbor, Michigan  
 Navy ..... Overseas Task Force Bldgs.  
 Army Engineers, Overseas Task Force Bldgs. (2nd Project) Distributed  
 Army Engineers, Overseas Task Force Bldgs. (3rd Project) Distributed  
 Navy, 2nd Proj. .... Overseas Task Force Bldgs.  
 War Housing, 2nd Project ..... Ecorse, Michigan  
 Navy, 3rd Proj. .... Overseas Task Force Bldgs.  
 Navy, 2nd Project ..... Bainbridge, Md.

# LETTERS

## To the Editor

### A happy omen

*To the Editor:* It is a little unfortunate that the industry cannot cope successfully with its hysterical fears or has not, as yet. We are interested as investors. My wife has had experience both in dealing with builders and in ownership of new and old residences.

The construction industry, together with the material and supply manufacturers and trade unions (building) are so widely regarded as perhaps the most reactionary and backward segment of our economy. Too bad, for the outlook is so brilliant.

The *Literary Digest* and the dinosaur are extinct because they could not accommodate themselves to that important law of nature. Change is everywhere, continuous, eternal, inexorable. I know *American Builder* as a subscriber would, and it seems a little incongruous that Henry Kaiser's plans are discussed with such enthusiasm. But it is a happy omen as well!—G. G. HOLDT, New Orleans, La.

### A sensible financing plan for owners

*To the Editor:* Glad to give you the information on our plan for helping borrowers build a fund for future emergencies—including repairs and improvements as well as illness.

We instituted it about six years ago, as a result of our experience in the depression. It was apparent to us that borrowers get delinquent because they lose jobs, not because they think the house market may have slumped. They neglect houses for the same reason, or for lack of moderate cost financing. So we arranged a loan to protect their interests in time of such need.

Our own self interest was likewise served. A loan that is not delinquent when a borrower quits paying, or when he draws advances for repairs and improvements, is a good loan in the eyes of an examiner or the Federal Home Loan Bank, in event we want to borrow money to meet the needs of such a time.

Our plan is merely to record a mortgage calling for a lesser payment than the borrower agrees to make. If he can pay us \$60 a month, we have him sign a note requiring \$50 a month. His payment is 20 per cent more than his written obligation, or putting it the other way, his note calls for a payment one sixth less than he orally agrees to pay.

All our loans are made on this plan. There is no way for us to enforce the payment of the larger amount, but not one borrower in five hundred takes advantage of his right to pay less at the start. In the six years we have used the plan prices and prosperity have improved steadily, so that few have had occasion to use their credit of advances. In time of stress we may have a great many. Probably more than half of the users have been those who needed to make repairs, or increase their loans for some similar reason.

We exercise no control over the borrower's use of the excess, except that we don't pay it back in cash. He may apply it to meet taxes or interest or insurance premiums, or may spend it on the property. If he fails to pay, he is automatically using up his credit.

We don't keep separate account of the excess. It goes directly on his principal and thus reduces his interest

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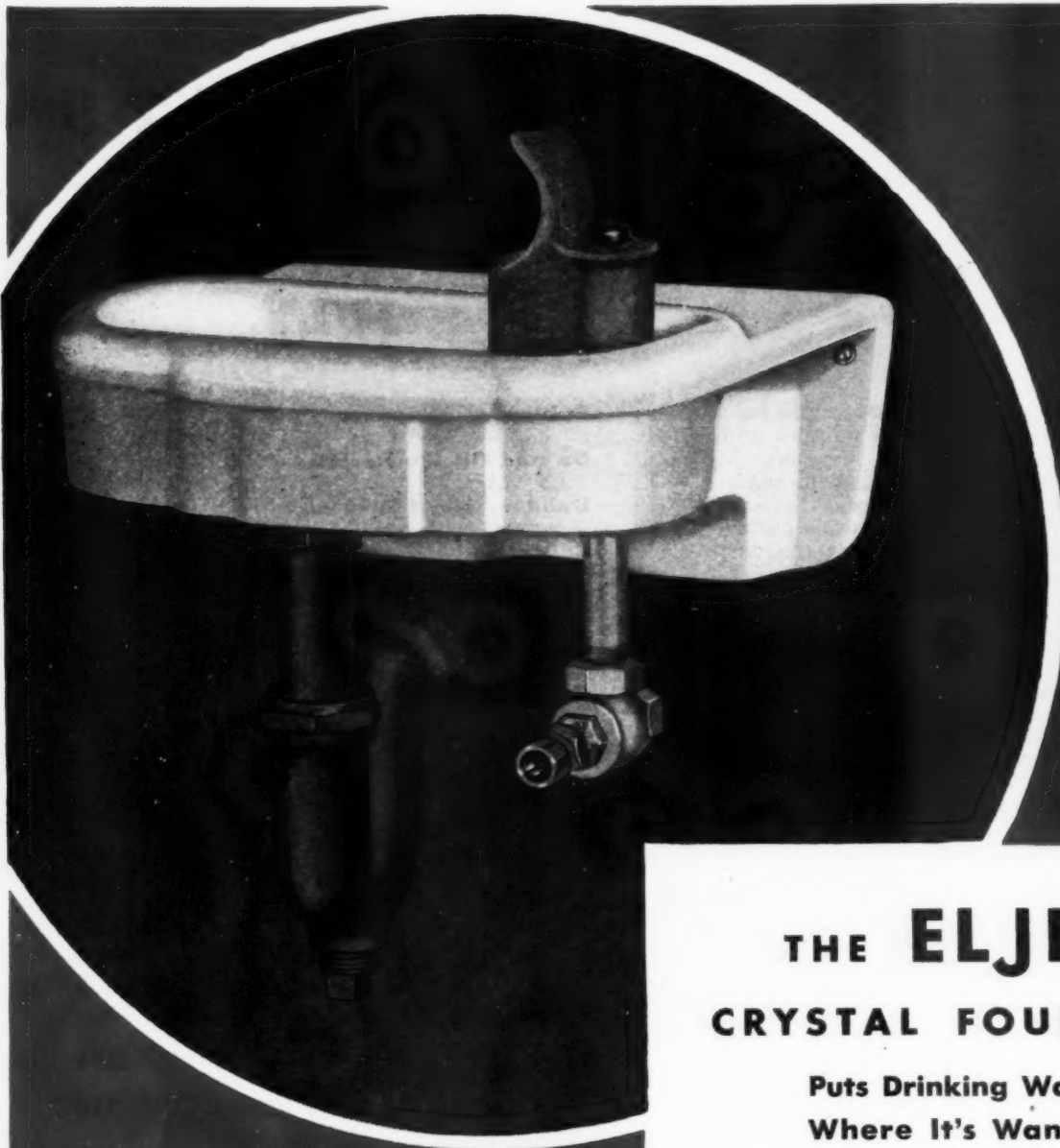
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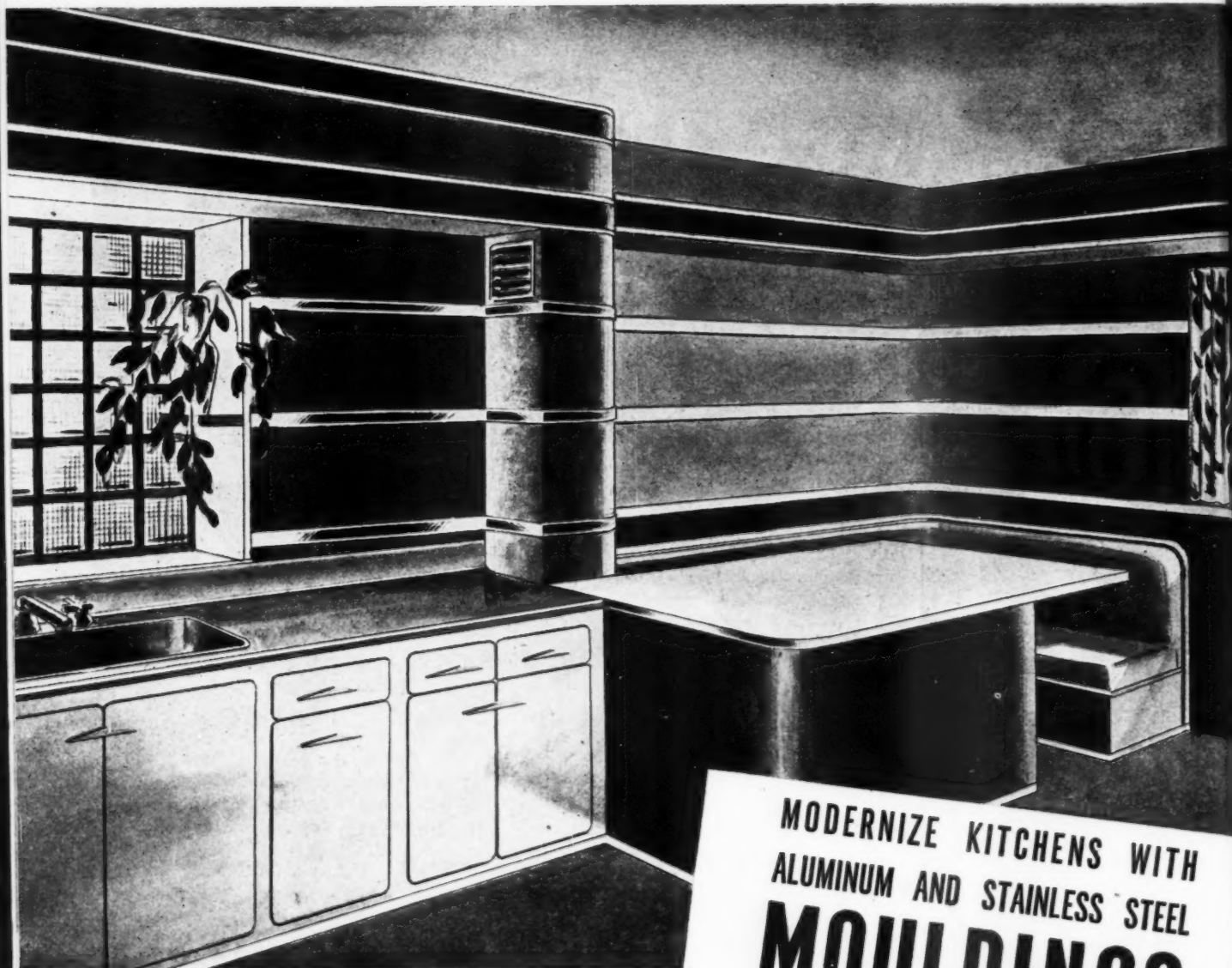
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## PUBLISHER'S PAGE

### Organize to Combat Socialized Housing

**P**PRIVATE enterprise is endangered by its ostensible friends as well as by its enemies. Many promoters of national socialism claim they really favor only enough government controls and spending to enable government and private enterprise together to provide "full employment" and good living conditions. Many politicians, business men and other persons, although professing devotion to private enterprise, advocate government controls and spending to help the alleged "one-third who are ill-fed, ill-clothed and ill-housed."

What difference can it make to private contractors, producers and dealers whether they get business from government or private enterprise?

It can help make the difference between private enterprise and national socialism. For the government "planners" are not restricting their attention to any one industry, but, for different pretended reasons, are promoting the socialization of all industries. Hence, anybody who helps promote socialization of *any* industry helps promote socialization of all.

The planners' technique in misleading the selfish or unwary is skillful. They have long been vocal and active throughout the world. They had made little progress here before the great depression because for thirty years private enterprise had provided virtually full employment (see *American Builder*, June, 1945, page 11) and caused an improvement in living conditions never elsewhere approached. According to previous experience, the unemployment and distress caused by the depression would have been brief if private enterprise had been allowed to function as before. But they were effectively seized upon by the "planners" as a reason for condemning private enterprise and adopting the National Recovery Act, which applied unprecedented controls to business and

appropriated billions to be spent on public works to "prime the pump" and furnish employment. When recovery did not occur the planners blamed business. And, while otherwise a failure, NRA was a great success for the planners. It gave them a good start on planning and spending. And now they claim that war-time experience has shown all that is needed to provide full employment and abundance are enough government controls and spending.

The trouble with those willing to accept a limited amount of socialism is their failure to see that there is no definite place for socialization to stop. Just what income makes a family "underprivileged" and entitled to have part of its rent paid by government-subsidies? If many families throughout the country are to be thus subsidized, what is to prevent many others with larger incomes from exerting effective political pressure for similar subsidization? If ever increasing numbers are to secure low rentals through subsidies, private investment in housing will cease because of inability to get high enough rentals to yield a profit on private investment. Then government will build all the housing.

The only way to arrest the trend toward national socialism is for those who are opposed to it to present the strongest possible *organized* opposition to it in their *own industries* as well as in industry as a whole. Therefore, all branches of the home-building industry should *unite* in an organized effort to "sell" the public the advantages of private building and ownership. "The best defensive is a vigorous offensive." The best way to combat government housing is to show what the private building industry has achieved, and will achieve if not prevented.

*Samuel O. Dunn,*



## What Percent of Building Costs should be spent on HEATING?



WITH Victory will come a rushing flood of people who have a certain sum of money to invest in a home. To many, this sum will represent life savings. They will need sound, dependable advice on how best to spend that money to receive full value in long-lasting home comfort.

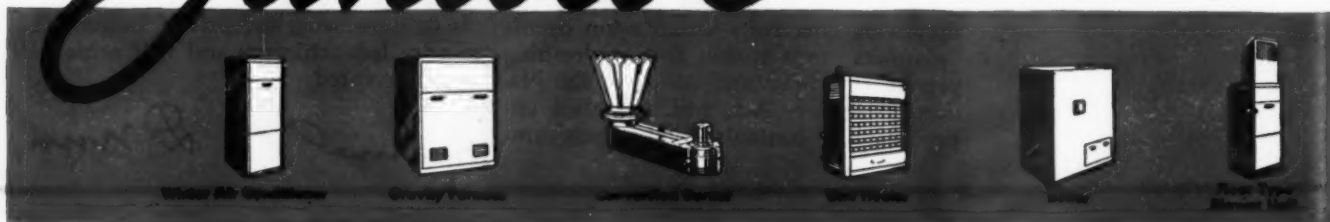
When they ask you, their designer and builder—"what percent of my building costs should be spent on heating?" tell them this: From 6 to 9 percent is about the average being spent on the heating system. But the *most important factor* in selecting a heating system is to be sure you're getting *fully adequate heating comfort*—along with economy. No home, no matter how beautifully decorated or perfectly arranged, can be really liveable without clean, comfortable automatic heat.

So, if some of your clients suggest sacrificing the quality of their heating system in order to afford some other desired feature, remember... *the right kind of heating system can provide more long-lasting comfort to the home owner than any other single factor.*

Specify Janitrol to give your clients the very best in clean, comfortable, fully automatic gas heating when new home building is again resumed. Janitrol incorporates more new advancements in design and engineering—the result of more than 30 years continuing research devoted solely to the development of gas heating equipment. You can be assured that whatever your post-war houses require in heating, Janitrol will have the most modern equipment that Surface Combustion's complete engineering facilities can provide. For full descriptive and specification data on the complete Janitrol Gas-Fired line, write to Surface Combustion, Toledo 1, Ohio.

# ★ Janitrol

**GAS-FIRED  
HEATING EQUIPMENT**



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## TAKE THEM THROUGH THE *Kitchen Door*

Until the last shot is fired  
— buy bonds — give  
blood — salvage fats and  
paper — work for Victory.  
Then do your part to ...



Many successful new home salesmen began taking their prospects "through the kitchen door" when builders changed over to Youngstown Kitchens.

They saw that the prospective purchaser was immediately impressed by the imposing, Youngstown

Kitchenaid. It was a startling improvement over the old style sink the prospect had expected to see.

The streamlined utility of the kitchen ensemble made a valuable first impression and paved the way to an early sale right at the start.

Send for the "Builder's Kitchen" catalog and see how costs can be lowered and sales appeal raised with Youngstown Kitchens. See how you can profit by taking prospects **THROUGH THE KITCHEN DOOR.**

### MULLINS MANUFACTURING CORPORATION

WARREN, OHIO

Design Engineering Service • Large Pressed Metal Parts • Porcelain Enameled Products



**Youngstown Kitchens**  
by Mullins

YOUNGSTOWN KITCHENS  
MULLINS MANUFACTURING CORPORATION  
Dept. AB 745, Warren, Ohio

Please send me booklet entitled, "Builder's Kitchen"  
Builder ☐ Contractor ☐ Architect ☐

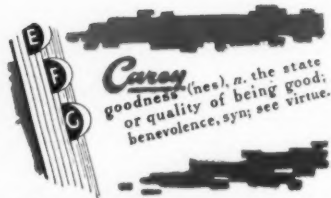
Name \_\_\_\_\_

Street \_\_\_\_\_

City & Zone \_\_\_\_\_ County \_\_\_\_\_ State \_\_\_\_\_



## One of Carey's 31,500,037 salesmen—at work



**PRODUCT GOOD-NESS** brings repeat sales... freedom from complaints and servicing.



**CAREY RESEARCH** is making old products better and better... continually developing new ones.

During 1945 Carey will send millions of "resident salesmen" to families who own homes, who operate farms... prime prospects for home and farm improvements as well as new buildings.

These Carey advertisements will call on the best prospects in your vicinity. They'll ride in top-flight publications your neighbors read and trust. Often they'll stay on as guests for weeks, even months with continuing opportunities to explain the merits and uses of Carey products... and emphasize the vital services of the Carey Dealer.

To take advantage of this powerful selling force you need only identify yourself as a Carey dealer. It's part of the complete merchandising program for dealers handling—



**Carey**  
YOU SELL MORE to more people with the broad Carey Line.



**STEADY PROMOTION** makes Carey products highly acceptable to your customers.

## the *Carey* line

Asphalt Shingles and Roofings  
Rock Wool Insulation  
Waterproofing Materials

• Asphalt Roll Brick Siding  
• Asbestos Coverall Board

• Asbestos Shingles and Siding  
• Roof Coatings and Cements

• Miami-Carey Bathroom Cabinets and Accessories

The Philip Carey Manufacturing Company, Lockland, Cincinnati 15, Ohio In Canada: The Philip Carey Co., Office and Factory: Lennoxville, P.Q.





## Miraculous New Sheet Material OF A THOUSAND USES

NYANITE—a new name to be remembered and a new material to be used,—for NYANITE will be an important product to you when postwar construction becomes a reality.

Developed by the pioneer leader in the Douglas Fir Plywood Industry, the ABERDEEN PLYWOOD CORPORATION, producer of the famous "Xterior Brand" weather-resisting plywood, NYANITE truly has 1000 and more uses.

By combining two proven materials—fir plywood and plastic—NYANITE has the superlative advantages of both for fine construction. Be ready to use NYANITE tomorrow by writing for detailed information about NYANITE today.



VICE PRESIDENT

VERN NYMAN Says:

*"Our research studies plus our war production work have developed new values which we can soon pass along to our home-front customers."*

### ABERDEEN PLYWOOD

MANUFACTURERS OF HOT PRESS DOUGLAS FIR PLYWOOD



*Corporation*  
FOOT OF ALDER STREET  
*Aberdeen, Washington*



# Complete Source of Supply

TRUSCON IS THE WORLD'S LARGEST PEACETIME  
MANUFACTURER OF STEEL BUILDING PRODUCTS

# Dependable Source of Service

TRUSCON HAS CONVENIENT WAREHOUSE BRANCHES  
AND DEALERS EVERYWHERE

# Large Source of Business

TRUSCON EXPERIENCE AND PRODUCTS WILL  
HELP MEET CONSTRUCTION REQUIREMENTS

Concentrate all your purchases and dealings with one dependable source of steel building products—line up with Truscon building products for your greatest opportunity to develop building business in the postwar market. There will be great and widely varied building activity, and this complete Truscon line of steel building products, available through our many Dealers and

warehouses, will help you meet its requirements.

The Truscon items noted "available now" can be secured in limited quantities. As quickly as our war production schedules permit, we will supply additional products, and ultimately the entire line. Start your postwar planning with Truscon Steel Building Products now!

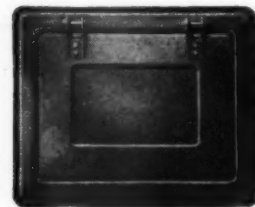
## TRUSCON SWING AND SLIDE DOORS



Truscon swing and slide doors are adaptable for use in basements, rear entrances, boiler rooms, fire exits and similar places in residences, hotels, apartments, schools, churches, shops, warehouses, factories, filling stations and stores. They are durably made for heavy usage. Swing Type Doors can be furnished with heavily reinforced pressed steel door frames, prepared for standard hardware.

*Not Available Now*

## TRUSCON COAL CHUTE DOORS

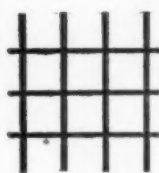


"Break-proof," weathertight and thief-proof. No castings used. Door and frame made entirely of heavy pressed steel. Truscon Coal Chute Doors are complete with positive spring latch, slotted hinges, and formed lugs. Two sizes.

*Not Available Now*

# TRUSCON STEEL

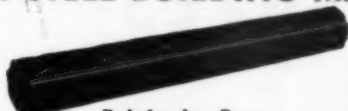
## TRUSCON STEEL BUILDING MATERIALS



### Welded Steel Fabric

Truscon Welded Steel Fabric is made in various sizes for concrete reinforcing in all types of structures, and highways. Each joint is electrically-welded for permanence.

Available Now



### Reinforcing Bars

Truscon Steel Reinforcing Bars for concrete are special rolled sections of high grade steel, with a series of cross ribs so designed as to secure maximum grip on the concrete.

Available Now



### Formed Steel Lintels

Truscon Formed Steel Lintel design includes continuous horizontal ribs which greatly increase the strength of the heavy gauge steel.

Available Now

## TRUSCON RESIDENTIAL STEEL WINDOWS



### Truscon Residence Casements

Made in a wide range of types and sizes, to meet practically every requirement for distinctive window designs and arrangements. They incorporate all the latest advantages of construction and easy operation. Bonderized, and baked-on priming coat of paint.

Not Available Now



### Storm Sash and Screens

Standardized low cost combination storm sash and screens for Truscon residential windows. Storm sash comes in two panels to permit easy installation or removal. Lower panel can be opened for controlled ventilation. Screen is interchangeable with lower panel for summer use.

Not Available Now

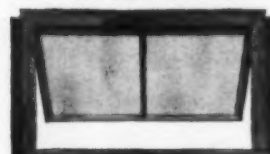


### Truscon Residential Double-Hung Windows

Galvanized and bonderized steel with a baked-on priming coat of paint, guaranteed spring balances, factory installed weatherstripping, and attractive hardware. Shipped assembled and adjusted.

Not Available Now

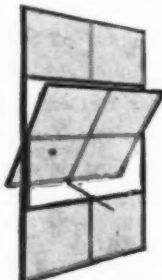
## TRUSCON BASEMENT WINDOWS



Made of heavy, hot-rolled sections. Bonderized. Baked-on priming coat of paint. Easy operation. Weather-tightness assured by continuous double contact around entire window. Windows open in. Furnished complete with all hardware. Steel frame screens will also be available.

Not Available Now

## TRUSCON COMMERCIAL STEEL WINDOWS



### Truscon Pivoted Windows

Adaptable to all types of industrial and similar buildings. Easy to open and close. Come in a wide range of sizes.

Not Available Now



### Truscon Utility Windows

Popular for use in garages, shops, stores, basements, etc. Ventilator opens in.

Not Available Now



### Security Windows

For store buildings, warehouses and types of buildings where adequate ventilation and protection are factors.

Not Available Now

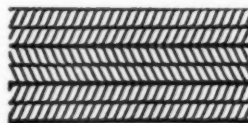


### Commercial Projected Windows

Used widely in buildings where appearance, shading and screening convenience, and low cost are required.

Not Available Now

## TRUSCON METAL LATH AND ACCESSORIES



### Truscon Doublemesh Herringbone Lath

A plaster saving lath, designed for a perfect mechanical bond. Sheets are unusually rigid, allowing wider spacing of supports.

Not Available Now



### Truscon Diamond Lath

A flat lath, uniformly expanded throughout the entire sheet. Its use is almost universal. Adaptable for practically all classes of work.

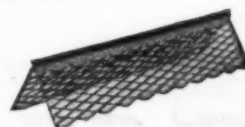
Not Available Now



### Truscon Rib Lath

A 3/4" and 1/2" lath used for concrete reinforcing and miscellaneous fire-resistant construction.

Not Available Now



### Truscon Metal Lath Accessories

Expanded corner bead illustrated. Every type of metal lath accessory available in the Truscon line.

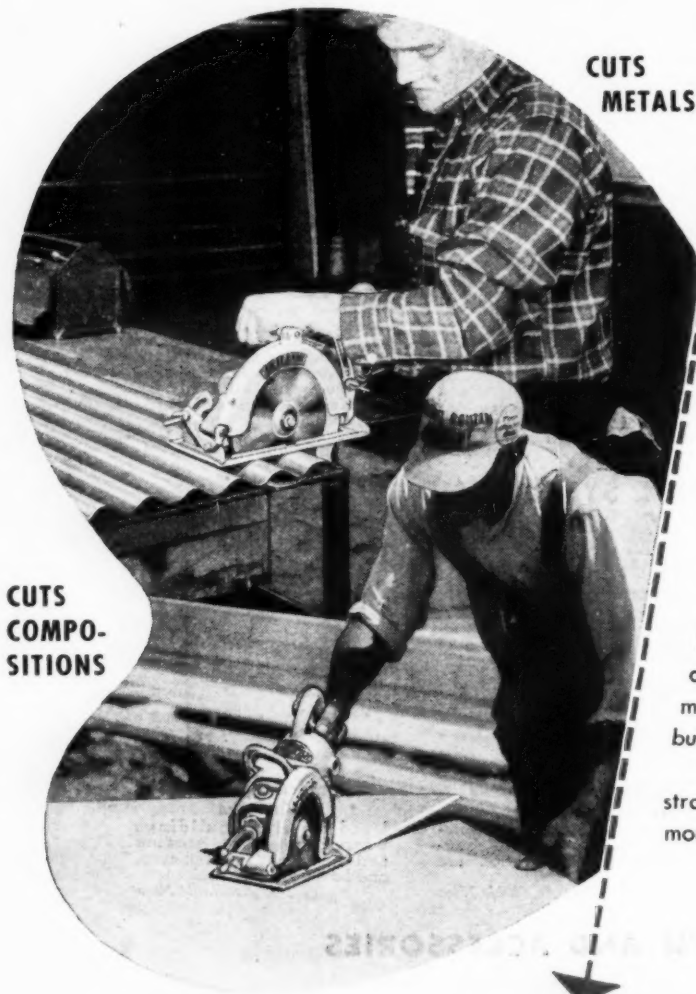
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# COMPANY

YOUNGSTOWN 1, OHIO  
Sales Offices and Warehouses in  
principal cities  
Subsidiary of Republic Steel Corporation



# SKILSAW SAVES MORE TIME MORE WAYS

CUTS  
METALSCUTS  
COMPO-  
SITIONSCUTS  
GROOVESCUTS  
MASONRY  
PRODUCTSCutting  
"Celacrete"

It's no news that SKILSAW is the finest time-saving tool you can own for making all the ordinary cuts in lumber. But there's lots of other work that SKILSAW can do . . . and do it faster, easier, better. Grooving, for instance . . . cutting sheet metals, compositions, asbestos cement and all masonry products . . . just an example of many unusual cutting jobs where SKILSAW can help you build faster and more profitably.

Phone your SKILTOOL Distributor today for a demonstration . . . find out how SKILSAW can save more time in more ways than any other tool you can own.

## SKILSAW, INC.

5033-43 Elston Ave., Chicago 30, Ill.

Factory Branches in All Principal Cities



# PORTABLE ELECTRIC SKILTOOLS

MADE BY SKILSAW, INC.



SKILSAWS



SKILSANDERS



SKILSHEAR



SKILNIBBLER



SKILGRINDERS



SKILDRILLS

What  
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# SOLID Comfort

...BECAUSE THEY HAVE  
A VARIABLE TEMPERATURE  
FORCED HOT WATER  
HEATING SYSTEM

NO MATTER HOW  
OUTDOOR TEMPERATURE  
RISES AND FALLS...

THIS B & G BOOSTER PUMP  
KEEPS ROOM TEMPERATURE **70°**  
AT THE COMFORT LEVEL

You can bank on this—the home buyer of tomorrow wants a better deal in heating! That's why you've got a sales point with a punch when you can say to him—

"This home will stay at a constant, comfortable temperature whether outdoor temperature is below zero or 50° above!

"It can be heated for less money than you ever thought possible!

"All the hot water you can use is available day and night for kitchen, laundry and bath—all year 'round!"

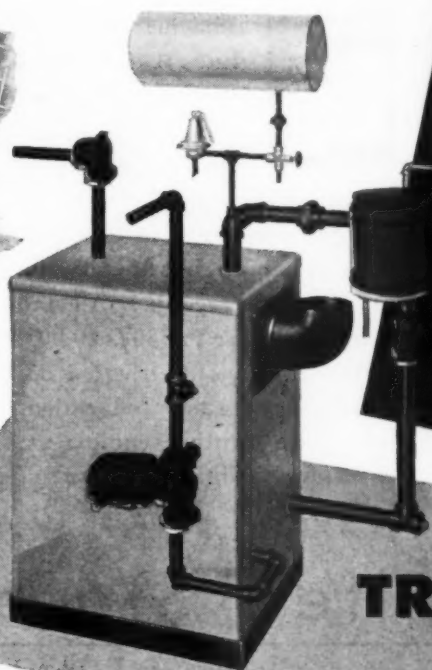
These sales-making values can be added to your homes by installing B & G Triple Duty Heating—the system of *variable temperatures*—the system which matches the heat supply to the weather! At all times *just enough* heat is delivered to keep home temperature at the desired degree. Mechanically circulated hot water can be so accurately controlled that both wasteful overheating and cold-breeding chills are eliminated.

B & G Triple Duty System equipment can be applied to any hot water boiler. It's simple, fool-proof and dependable.



## PLENTIFUL HOT WATER FOR EVERY HOUSEHOLD USE

What greater luxury than an ever-ready supply of piping hot water? The lady of the house needs it in ample quantities to serve modern appliances for washing clothing and dishes—to say nothing of its use for personal and all-around household cleanliness. The Water Heater of the B & G Triple Duty System supplies all the hot water the home can use—economically, automatically and all year 'round.



## THE IDEAL HEATING METHOD FOR RADIANT PANELS

Successful Radiant Heating depends upon the use of comparatively large heating surfaces at low temperatures. With the simplest kind of equipment, a B & G Forced Hot Water System smoothly modulates the temperature of the circulating water to the proper degree.

# B & G

## TRIPLE DUTY SYSTEM

BELL & GOSSETT CO.  
Morton Grove, Illinois

# WIPE OUT... An American City of 10,000



## SHEETROCK *Fireproof WALL and CEILING PANELS*



WOODGRAINED



BEVEL EDGE



TILE BOARD



WELDED WALLS

Imagine the headlines if fire wiped out Washington, Ind., or Astoria, Ore., or Americus, Ga. . . . cities of about 10,000. All America would mourn. This isn't likely to happen, but fire kills 10,000 Americans every year. And fire losses total close to \$300,000,000.

Such grievous destruction demands better safety education, better fire fighting equipment, even safer building methods. You

can help. Install fireproof Sheetrock wall and ceiling panels that stand guard against the spread of fire till help has a chance to arrive.

Sheetrock\* brings outstanding wall beauty to any home. You can "weld" the panels into one with Perf-A-Tape\* or feature the joints with Beveled Edge Sheetrock. Woodgrained Sheetrock is finished in faithful reproductions of knotty pine, bleached mahogany and walnut. Write today. 300 W. Adams St., Chicago 6, Ill.

\*Reg. T. M.



## United States Gypsum

**For Building • For Industry**

Gypsum • Lime • Steel • Insulation • Roofing • Paint

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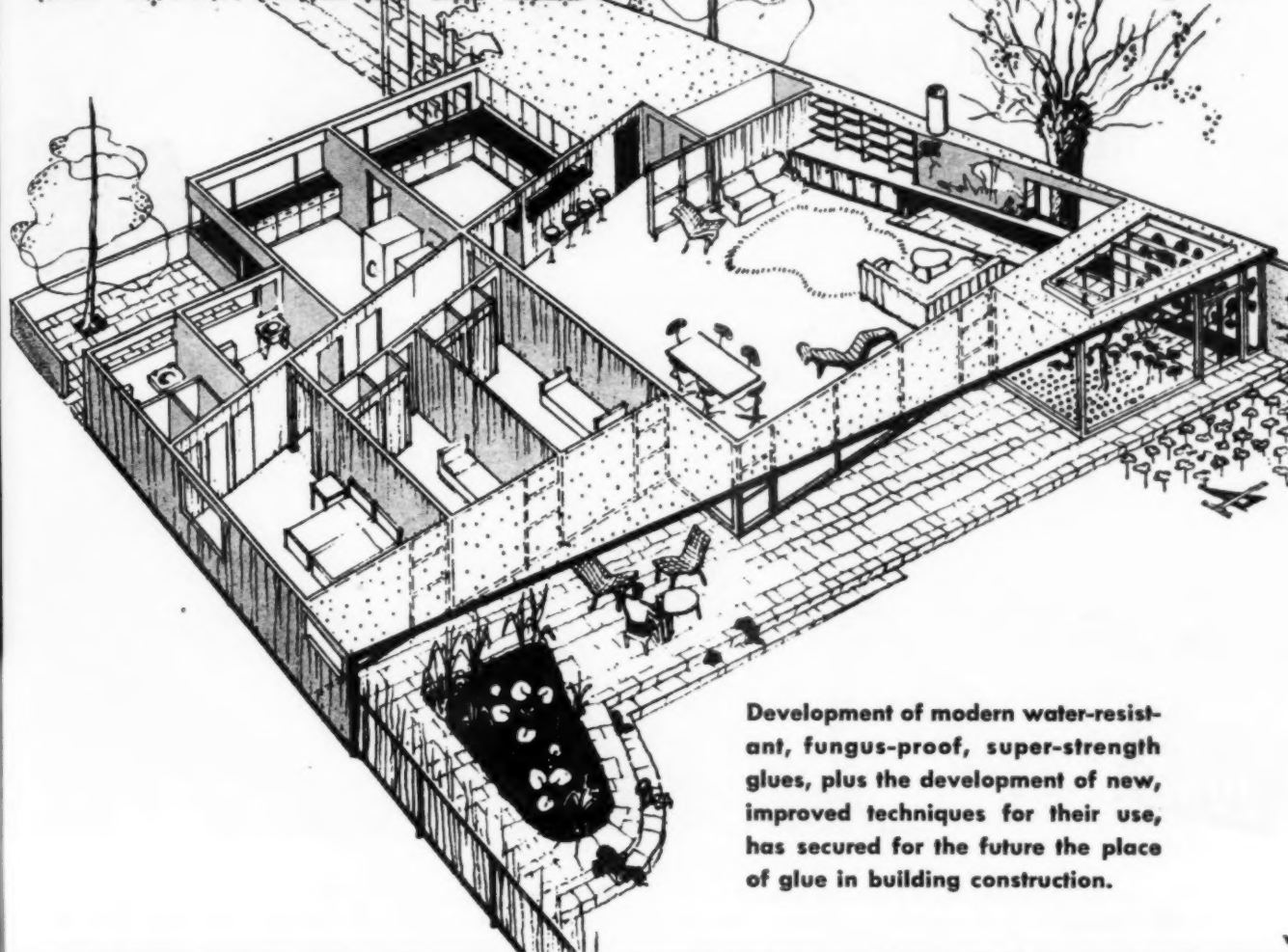
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TREND

tomorrow's better homes  
engineered with wood  
and Laucks construction glue



Development of modern water-resistant, fungus-proof, super-strength glues, plus the development of new, improved techniques for their use, has secured for the future the place of glue in building construction.

### Where are LAUCKS glues used in the modern building?

**In Plywood . . .** the first large scale demonstration of the strength and practicality of glue in construction. I. F. Laucks, Inc., pioneered the development of modern glues for plywood.

**In built-ins, prefabricated units, in sash, doors, etc. . . .** for better, stronger construction.

**In Dry-Built Construction . . .** where walls are built of plywood or other wallboard . . . glue is the approved method of affixing panels to walls. Twenty-four million feet of dry-built walls were recently erected with Laucks Construction Glue on a single housing job.

**In glued laminated arches, beams, trusses.**

**In Shop Prefabrication . . .** for greater strength, rigidity, speed in construction . . . Laucks glues secure panels to framing. I. F. Laucks, Inc., has worked with and supplied major prefabricators for years.

In this unmistakable trend towards more wood-and-glue construction, architects and builders are offered new opportunities for more freedom in design, new strength, safety and interest factors with familiar, acceptable materials.

For information on the use of the correct glues for each construction application, come to "America's Glue Headquarters," address:



**In the West:**  
Seattle 4, Wash.  
Los Angeles 1, Calif.

**In the East:**  
Lockport, N. Y.  
Portsmouth, Va.

**In Canada:**  
Laucks Ltd.: Vancouver, B. C., Stanbridge, Que.

● LOOK INTO THE PAST AND SEE THE FUTURE!

# "Electrical Foresight"

**now will help Sales  
of Postwar Homes!**



Architects and Builders who take a long look into the past, can find a formula for quick postwar home sales. Homes that are *already wired* for electric ranges will *move faster*—just as homes already wired for electric lights sold more readily in a past era. For, make no mistake, the *electric range is the coming thing!*

## HERE ARE THE FACTS!

- In the pre-war period of 1933 to 1941, electric range sales increased by more than *nine hundred percent!* The trend is rapidly toward electric cooking!

Electric Range Section, NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION, 155 East 44th Street, New York 17, New York

A-B STOVES • ADMIRAL • ELECTROMASTER • ESTATE HEATROLA • FRIGIDAIRE • GENERAL ELECTRIC • GIBSON  
• HOTPOINT • KELVINATOR • MONARCH • NORGE • QUALITY • UNIVERSAL • WESTINGHOUSE

**FOR EASIER SALES**  
*Wire your houses*  
**FOR ELECTRIC RANGES**



- THE WOMAN'S HOME COMPANION study (1944) shows that among women who plan to buy a new range after the war, more intend to buy an *electric range* than any other kind. The *electric range* was the choice of practically half of all who specified the kind of new range they plan to buy.

- The large and rapidly growing swing to electric cooking is also shown in surveys made by HOUSEHOLD MAGAZINE, McCALL'S MAGAZINE, OFFICE OF CIVILIAN REQUIREMENTS, and others.

- The additional cost of wiring for an electric range *adds less than 12c a month* to payments on a 20-year F.H.A. Loan! Get all the facts—now! Write for free booklet, "WIRE AHEAD." Address —

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News, Views  
and Comments

## On and Off the Record

**AF OF L**—Speaking of postwar planning, is the Building Trades Council of the AF of L erecting a bulwark against possible or anticipated invasion of CIO unions in the building trades? Several builders in unionized areas tell me that AF of L business agents are requesting the insertion of a clause in the builder's contract with the buyer in which the builder guarantees that all work will be performed by AF of L union craftsmen.

### MORE ABOUT NEW ZEALAND—

A reader asks for the public housing record in New Zealand, mentioned in last month's On and Off the Record. At first the Dominion supplied houses for families with incomes less than two dollars a day; raised it to include incomes less than \$1,000 a year; then to \$3,000 a year. Now anyone can qualify. A New Zealander tells me that 75 per cent of postwar houses in his country will be public built, owned and operated, says the Dominion owns its own joineries (building material factories), distributes the materials with government forces, does the surveying, financing, designing and building.

**LUMBER**—Two west coast lumber manufacturers in the office last week agreed that cut-backs in ship building and large-scale discharge of Army vets may help to re-man forest and mill crews. Neither felt that more manpower would measurably increase lumber production. They need tires, trucks and new machinery along with more men.

**FREEDOM**—The only freedom this country will get from government dictatorship is the only freedom any people have ever gotten under regimentation. That is freedom from freedom. And in the end the worst sufferer, as always, will be labor. Any laboring man who does not believe that should read Cecil B. deMille's speech at Omaha on May 17. Title is "This Nation was Conceived in Liberty, for the Sake of all Mankind. Don't Let it Die in Bondage."

**USUAL SEQUEL**—In the spring of the year, John Dean published a book entitled "Home Ownership—Is It Sound?" It was composed of the usual dribble aimed at builders, realtors and others in the private housing field, all of whom were pictured in the usual way, as profiteering leeches or worse. Mr. Dean has just been appointed regional economist

for the Federal Public Housing Authority in the New York region. Isn't there an old proverb about a man being known by the company he keeps?

**FOREIGN SHELTER**—A recent NHA release announces the appointment of Jesse Epstein as regional director of the FPHA in Seattle to succeed Frank M. Crutsinger.

It is Mr. Crutsinger's new job that tickles us. He is now director of the Foreign Shelter Division in the Washington FPHA office. While he is getting his share of materials to shelter those in foreign countries, how are the "unhoused" doing in your locality.

**PUBLIC HOUSING**—In one of his recent blasts, Philip M. Klutznick, Commissioner of FPHA, claims to speak as a "citizen and houser without a label." Disregarding the obvious comment, we'd like to suggest that Mr. Klutznick is in an enviable position, since his mouthings on housing are broadcast by NHA's publicity bureau to newspapers throughout the length and breadth of the land (at taxpayers' expense, naturally).

We were interested in his statements that "We must understand that public housing is here to stay," and that "Public housing was not born as a method by which \$5,000 houses would be built for \$3,000." In regard to the former, public housing would not stay long if private builders were given an equivalent government assistance. In regard to the latter, it has long been evident public housing is not a method by which \$5,000 houses would be built for \$3,000. It is a method by which \$3,000 houses are built for \$5,000, or more.

**DOOR PRICES**—Elsewhere in this issue there is a news item about the effect of OPA price ceilings on the future operations of the Paine Door Co., of Oshkosh, Wis. With labor and raw materials up, Paine's OPA selling price is below production cost. They have applied to OPA to allow for their increased cost of raw materials, are able to absorb their extra labor cost themselves.

Crippling industry is not consistent with postwar employment aims. Or does OPA want to paralyze production of building products for some reason?



Already Back The Trend  
Toward

## Electric WATER HEATERS

The swing is distinctly upward! An extensive survey made for the National Electrical Manufacturers Association, shows that 35% of today's home owners who plan to replace their present water heaters, intend to buy an electric water heater.

**WHY?**... Because the electric water heater is

**SAFE**—Flameless, fumeless.

**CLEAN**—Smokeless, sootless.

**EASILY INSTALLED**—Requires no flues, vents, lengthy hot water pipes.

**TROUBLE FREE**—as electric light.

Give home-builders and buyers what they want. Include an electric water heater in every home you build. Then you'll be in line with the times.

ELECTRIC WATER HEATER SECTION  
NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION

CLARK • ELECTROMASTER • FRIGIDAIRE •  
GENERAL ELECTRIC • HOTPOINT • HOTSTREAM •  
KELVINATOR • MONARCH • MORGE • PEMCO •  
REX • RHEEM • SELECTRIC • THERMOGRAY •  
THERMO-WATT • UNIVERSAL • WESTINGHOUSE

A House Wired For An  
ELECTRIC RANGE Is Already

wired  
for an  
Electric

**WATER HEATER!**





## Foundation of democracy— framed in steel for lasting strength

Think in terms of

# STRAN STEEL

SERVING TODAY IN THE  
QUONSET HUT

Stran-Steel, the universal light framing member with the patented nailing groove, brings permanence, rigidity and fire-safety to schools, institutions, homes, factories and light commercial structures.

Stran-Steel framing systems provide sag-proof, warp-free strength—reducing maintenance, eliminating plaster cracks and sagging floors. They are adapted readily to efficiency in design, and enable versatility in arrangements.

Leading architects and engineers are thinking in terms of Stran-Steel construction to protect the schools of tomorrow. Explore the lasting values inherent in Stran-Steel. Plan and build in steel for lasting strength.

## GREAT LAKES STEEL CORPORATION

*Manufacturer of the Famous Quonset Hut for the U. S. Navy*

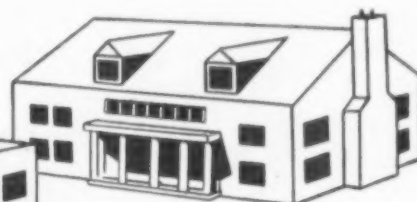
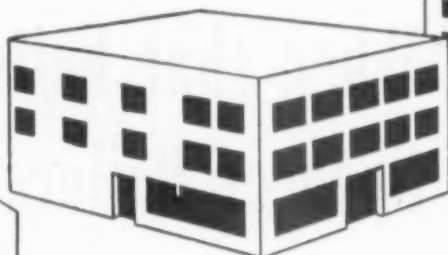
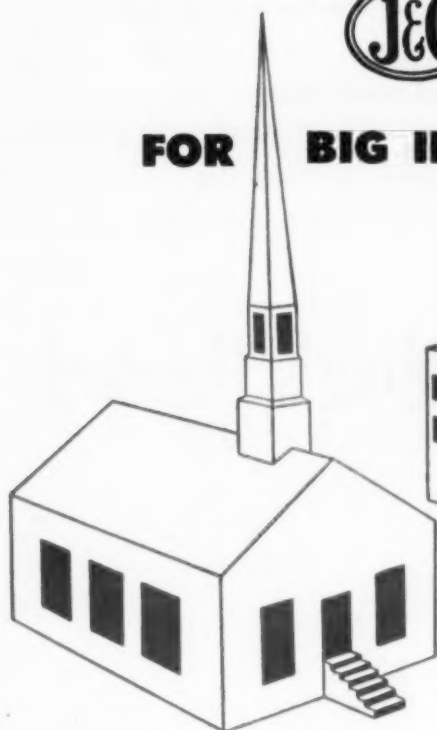
**STRAN-STEEL DIVISION • 37TH FLOOR PENOBSCOT BUILDING  
DETROIT 26, MICHIGAN**

UNIT OF NATIONAL STEEL CORPORATION



**FURNACES NOW AVAILABLE**

**FOR BIG INSTALLATIONS**



**HERE'S THE PERFECT ANSWER**

**TO YOUR HEATING PROBLEM**

If your home is small and you are looking for a clean, convenient, thoroughly modern means of heating it at low cost—a J & C Furnace is the ideal answer.

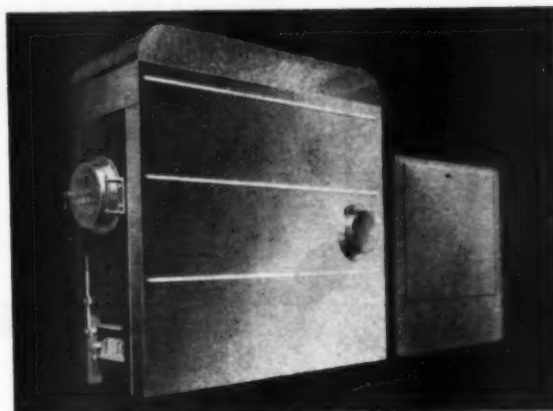
If yours is a larger type house—and you want to keep those chilly, drafty halls or bedrooms comfortably warm without having to overheat any other portion of the home, then a J & C Furnace is what you need.

Or if you own a store or apartment building, or if you are responsible for heating a church, school, or any large structure—and you want to get the most heat per unit of fuel with lowest maintenance and repair cost, then a J & C Furnace is exactly the unit to fill the bill.

Regardless of your heating requirements, a J & C Furnace will meet them. J & C Furnaces contain a blower system that floods the house or building with warm filtered air and changes it every ten minutes. Because of their 90% direct radiation principle J & C Furnaces produce more heat on less fuel. J & C Furnaces are easily adapted to burn coal, gas, or

oil. They are streamlined for harmony with finished surroundings; engineered for efficient and economical performance; and they're constructed of the kind of plates and castings and materials that insure life long, dependable service.

Solve your heating problems now. Get in touch with your J & C dealer, or write direct to our engineers here in Saginaw for complete information.



**JACKSON & CHURCH COMPANY • ESTABLISHED 1881**

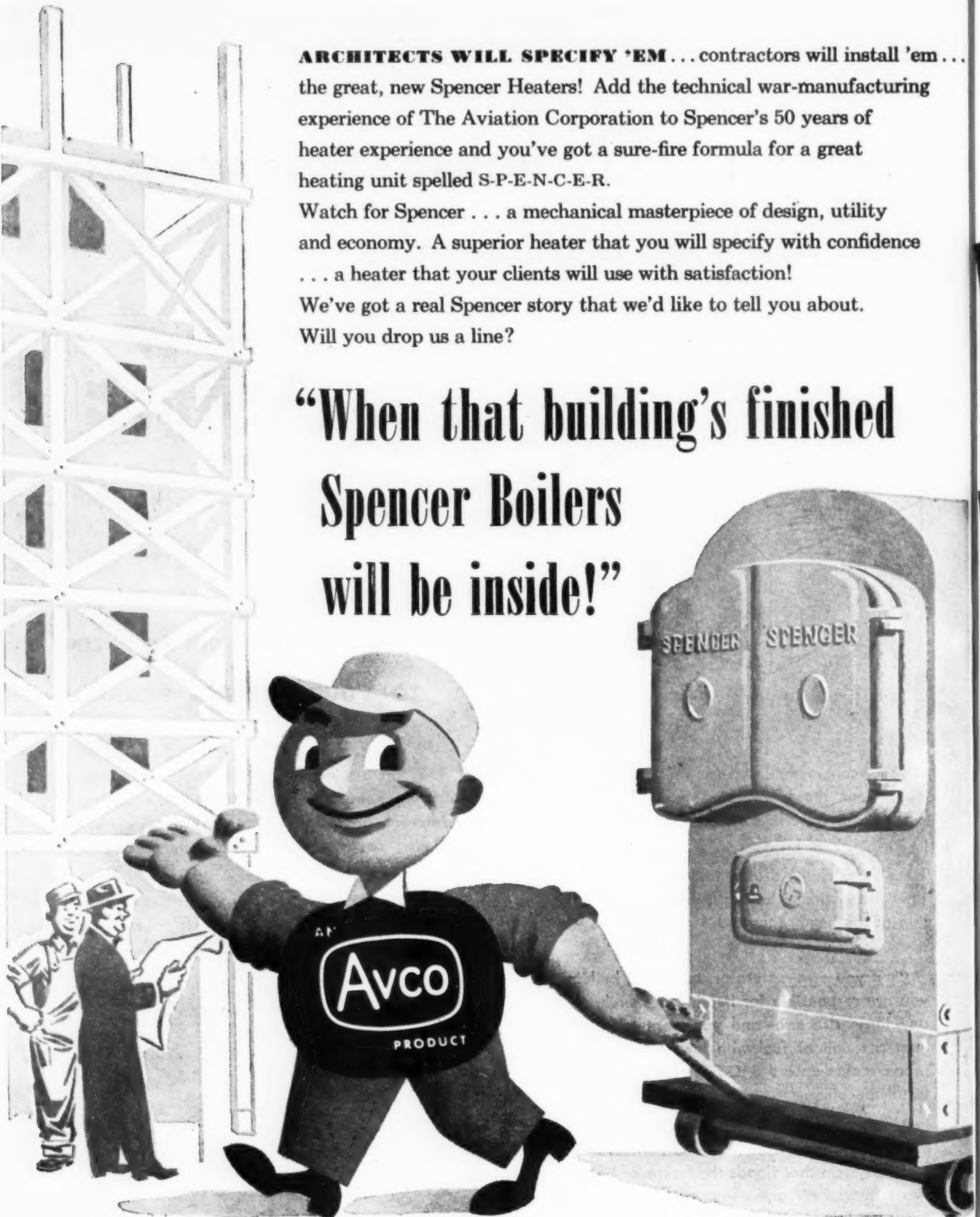
**SAGINAW, MICHIGAN**

**ARCHITECTS WILL SPECIFY 'EM** . . . contractors will install 'em . . . the great, new Spencer Heaters! Add the technical war-manufacturing experience of The Aviation Corporation to Spencer's 50 years of heater experience and you've got a sure-fire formula for a great heating unit spelled S-P-E-N-C-E-R.

Watch for Spencer . . . a mechanical masterpiece of design, utility and economy. A superior heater that you will specify with confidence . . . a heater that your clients will use with satisfaction!

We've got a real Spencer story that we'd like to tell you about. Will you drop us a line?

**"When that building's finished  
Spencer Boilers  
will be inside!"**



**P. S.** A limited number of  
Spencer Boilers are now avail-  
able on priority.

**SPENCER HEATER**

Division—The Aviation Corporation, Williamsport, Pa.





# Sherlock "Homes"

the **INSELBRIC** sleuth



INSELBRIC  
PAT. NO. 2282432

The Case  
of the

## GENUINE TRADE-MARK

Sherlock "Homes" always looks for the name on the product. It's the sure way to guard against imitations. After all, many products may look alike but face value is not enough. In the case of Inselbric—none is genuine without the NAME stamped on the back of every panel—because it's more than a name. It's a trade-mark that lifts Inselbric out of the realm of "blind" merchandise.

Nor is that the complete story of the genuine trade-mark. It stands for so many exclusive, built-in features—Precision-Shiplapping, Anchored Face, Encased Nailing. That's why Inselbric proudly stamps the name on the back of every panel. And that's why leading dealers prefer it. They know it's wise to be identified with such trade-marked protection—it makes selling easier!



LOOK FOR THIS NAME

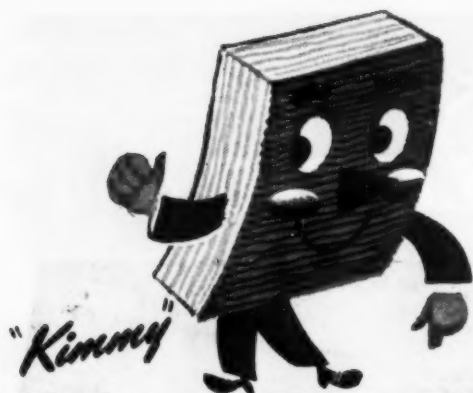
**INSELBRIC**

ON BACK OF EVERY PANEL

*The Nation's Fastest Selling Insulated Brick-Design Siding*

**MASTIC ASPHALT CORP.**  
Makers of Inselbric and Inselstone  
SOUTH BEND, IND.

**JONES & BROWN, INC.**  
National Distributors of Inselbric and Inselstone  
PITTSBURGH, PA.



*"The Navy is never 'at sea' about Insulation!"*

**Take a tip  
from the Navy  
—specify KIMSUL\***



Official U. S. Navy Photograph

When the Navy considered insulation for its famous Quonset huts, it chose KIMSUL.

It knew that these huts must protect Navy men, equipment and supplies from cruel and punishing elements. They must withstand both the humid, scorching heat of the tropics and the penetrating sub-zero cold of the arctic. On a thousand shores, Quonset huts must provide comfort, utility and safety for a Navy ashore.

Shipping and storage space being so valuable, insulation for this exacting task must compact to the minimum of bulk and weight. And that is where KIMSUL stands apart from all other insulations. Like a closed accordion, KIMSUL comes compressed to only *one-fifth* of its installed footage. It takes but one-fifth the storage space, one-fifth the shipping space, one-fifth the handling . . . yet this insulation provides an all-over blanket of

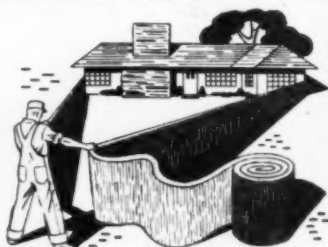
protection with a "k" factor of only 0.27.

KIMSUL, the only insulation with *many* layers of protection in one blanket, is doing an outstanding job for the Navy in the "world's largest housing project." It will do just as fine a job for the homes that you design or build, giving home owners lasting protection and greater fuel economy.

Take a tip from the Navy—specify KIMSUL!

*For complete technical data on KIMSUL Insulation refer to Sweet's 1945 Catalog, or write to Kimberly-Clark Corporation, Neenah, Wisconsin.*

WRAP THE  
POSTWAR HOME  
IN A KIMSUL  
BLANKET



**KIMSUL**  
INSULATION

\*KIMSUL (trade-mark) means  
Kimberly-Clark Insulation

A PRODUCT OF  
**Kimberly  
Clark**  
RESEARCH

a'



## MONARCH UNI-POINT RADIAL SAW

Job sheet	Work	Time
286	rafters notched	1 3/4 hrs.
2000	studs (2x4)	5 hrs.
24	stair stringers	4 hrs.

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Here's one example of Uni-Point performance, and, this is no unusual record, just typical Uni-Point production, assured in advance, because Uni-Point design permits the elimination of many time consuming machine adjustments. For example: cutting both angles of rafter notch with one stroke—six or more rafters at a time. Actually, the cutting time on eight rafters is 8 seconds.

Another example: 714 rafters (two different angle cuts on one end, third angle cut on other end), 3 angle cuts on each rafter, 7 hours, or 300 cuts per hour with two machines and four men.

Such speed, always combined with absolute accuracy, is Uni-Point's regular routine. Its guaranteed greater production is vital to you in the coming building boom.

Why not get full details now and be prepared?

Send for Catalog 60.



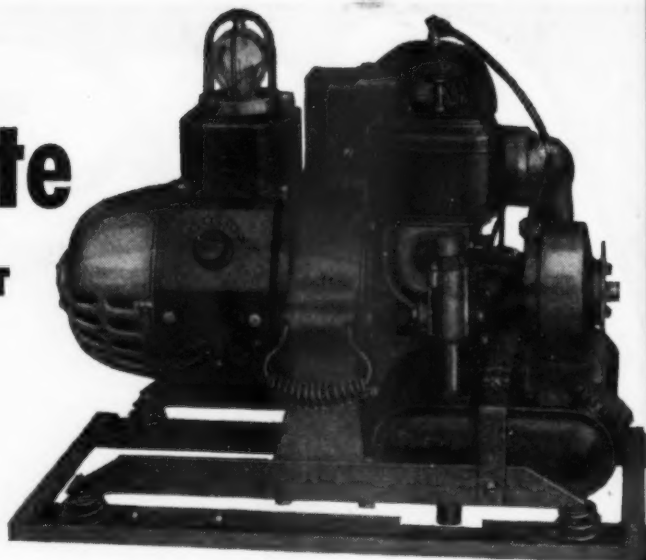
**AMERICAN SAW MILL MACHINERY CO.**  
60 MAIN STREET      BACKETTSTOWN, N. J.      Established 1903

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tion



# Pick Up a Homelite

**AND GIVE YOUR MEN A LIFT**



You can save time by drilling doors for tubular locks with a compact hand drill electrically operated by a 2000-watt Homelite Portable Gasoline-Engine Driven Generator.

Homelite units cost less to use and maintain because they have a cool running engine that is automatically lubricated by oil which is always new. Moreover, Homelites use oversize ball bearings throughout and are equipped with a simplified magneto and automatic built-in governor.

**Homelite Corporation**  
*Portable* PUMPS • GENERATORS • BLOWERS  
 PORT CHESTER, NEW YORK

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# WHEELER OSGOOD NOW INTRODUCES *Laminex* PLASTIC *-faced* PLYWOOD

*Manufacturers of*

**L A M I N E X**  
Plastic Faced Plywood

**L A M I N E X**  
Douglas Fir Plywood

**T R U - S I Z E D**  
Doors

**L A M I N E X**  
Doors

**WOCO DOORS**

**CRAW-FIR-DOORS**

**S A V - A - S P A C E**  
Sliding Door Frame

- ★ Here is a revolutionary material which, to date, has been reserved entirely for high priority war uses, because it is by far the best material ever developed for a rapidly growing list of purposes in the building, marine, transportation and industrial fields. Up to this time, Laminex Plastic Plywood has been used only on war orders.
- ★ The importance of Laminex Plastic Plywood to peacetime building and industry will be great, and forward-looking planners are NOW studying its many advantages for application in their special fields.
- ★ Laminex Plastic Plywood is made by chemically uniting wood veneers and a fibrous plastic film to form a strong impervious material of great durability and versatility. It has great structural strength and high resistance to abrasion. An outstanding characteristic is extremely low water absorption and vapor permeability. It is highly resistant to fire, acids, alkalis, and decay. A wide range of beautiful colors, which will not fade or stain, will be available with smooth or matt surfaces.
- ★ *Write for descriptive literature. Correspondence in regard to your problems and possible uses of Laminex Plastic Plywood is invited. Our engineering and merchandising staff is available for co-operation with you.*

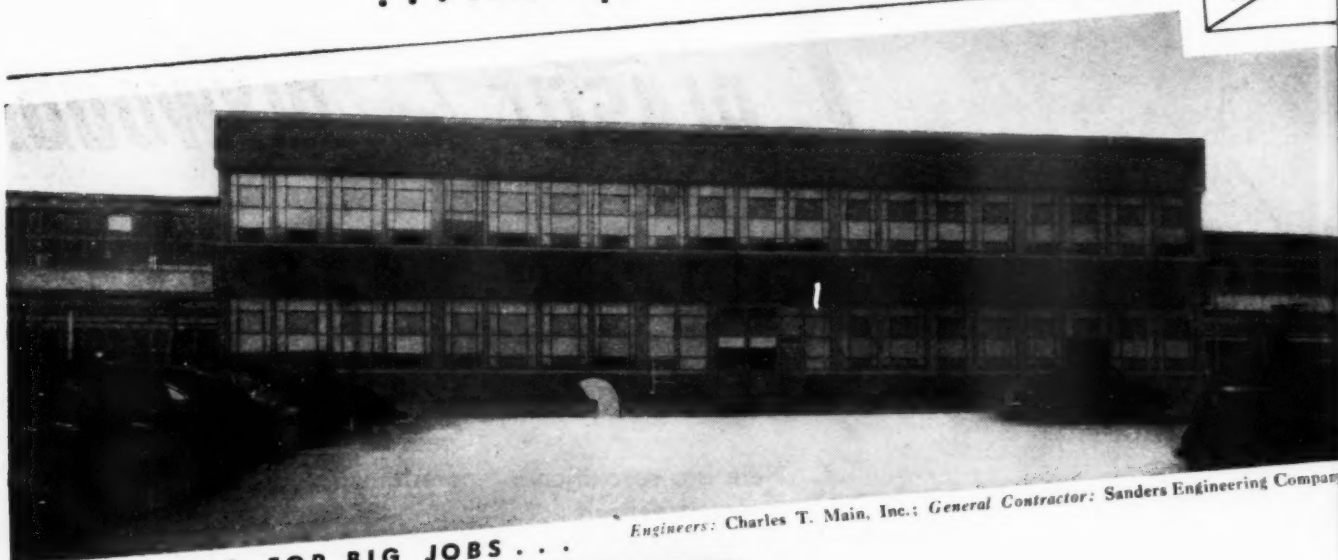
## THE WHEELER, OSGOOD COMPANY

PLANTS AND GENERAL OFFICE: TACOMA 1, WASHINGTON

1326 Empire State Bldg. NEW YORK 1, NEW YORK    134 So. LaSalle Street CHICAGO 3, ILLINOIS    3045 Nineteenth Street SAN FRANCISCO 10, CAL.    922 South Flower St. LOS ANGELES 15, CAL.    1216 St. Paul Avenue TACOMA 1, WASH.

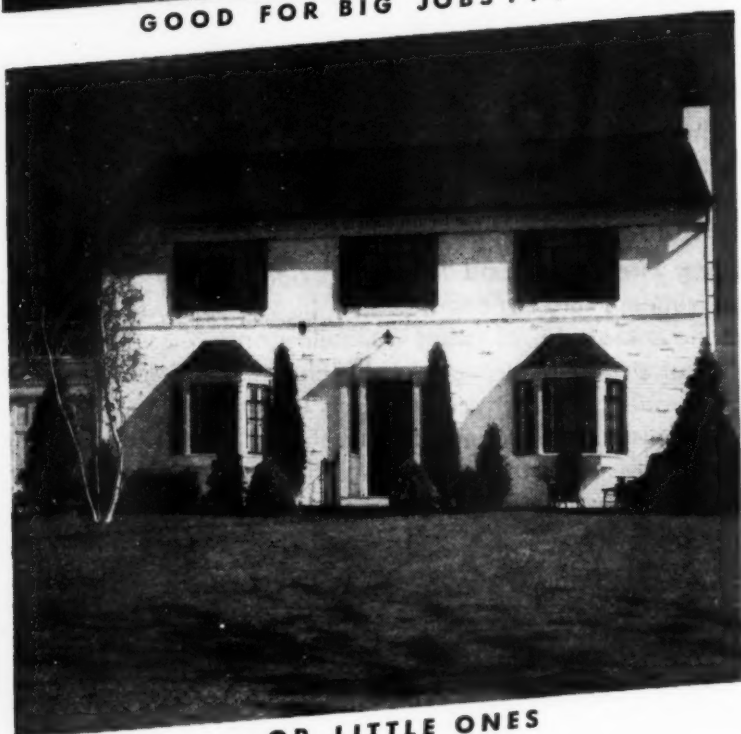
# USE "PENNVERNON"

## ... not just "Window Glass"



GOOD FOR BIG JOBS . . .

Engineers: Charles T. Main, Inc.; General Contractor: Sanders Engineering Company



. . . OR LITTLE ONES

**PENNVERNON WINDOW GLASS** is a favorite for the windows of such important buildings as this office of the Todd-Bath Shipbuilding Corporation, South Portland, Maine.

**AND IT'S EQUALLY POPULAR** for the windows of thousands of modest homes throughout America. Whatever the glazing job, you can count on Pennvernon's clarity, good visional properties, and surface beauty to give complete satisfaction.

*For big buildings or small, use Pennvernon . . . the window glass that has made a name for itself!*



# PENNVERNON window glass

**PITTSBURGH PLATE GLASS COMPANY**  
2245-5 GRANT BUILDING, PITTSBURGH 19, PA.

*"PITTSBURGH" stands for Quality Glass and Paint*



DOUB  
That's W

On outer-  
Bildrite Shee  
wind-proof  
tight wall of  
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WOOD SHINGLES

WOOD SIDING

1/2 BILDRITE

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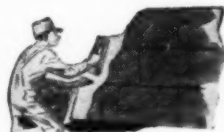
# "I build with the APPROVED INSULITE WALL OF PROTECTION"

says E. J. SULLIVAN



## DOUBLE INSULATION plus VAPOR CONTROL

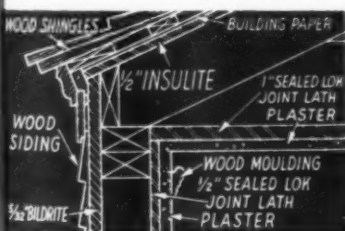
*That's What the Approved Insulite Wall of Protection Gives You*



On outer-walls, Insulite Bildrite Sheathing builds a wind-proofed, weather-tight wall of high insulation efficiency, superior bracing strength, and a wall free from open cracks or knotholes.

On inner-walls, Insulite Sealed Lok-Joint Lath builds a second wall of insulation, a strong, rigid plastering surface. Lath marks are eliminated, plaster cracks reduced to a minimum.

Sealed Lok-Joint Lath, with asphalt barrier against the studs, retards vapor travel. Bildrite Sheathing, being permeable to vapor, permits what little vapor escapes the barrier to pass towards the outside.



**DETAIL AT CORNICE.** Continuous insulation from inside wall to ceiling and from outside wall to roof. Note use of Sealed Lath on inside of studs for protection against vapor travel and condensation.

**WALL CORNER.** Erect framing members, studs, joists, rafters and plates in the conventional manner. Insulite is securely nailed to the framing, insuring increased rigidity as well as better insulation.




Homes in Ivanhoe Div. of Riverdale, Ill., built with Approved Insulite Wall of Protection.

**E. J. SULLIVAN**, prominent home builder of Riverdale, Illinois has built more than 225 homes in the past ten years, most of them with the Approved Insulite Wall of Protection.

"I find the Insulite Wall of Protection a big selling point," Mr. Sullivan says. "When I point out the wall's advantages, particularly in reference to protection against moisture condensation within the wall, my customers are greatly impressed."

The detailed drawings to the left explain, in general terms, the scientific principles of the Approved Insulite Wall of Protection. For complete details, of importance to every builder, send coupon today for free "Scientific Facts" booklet.



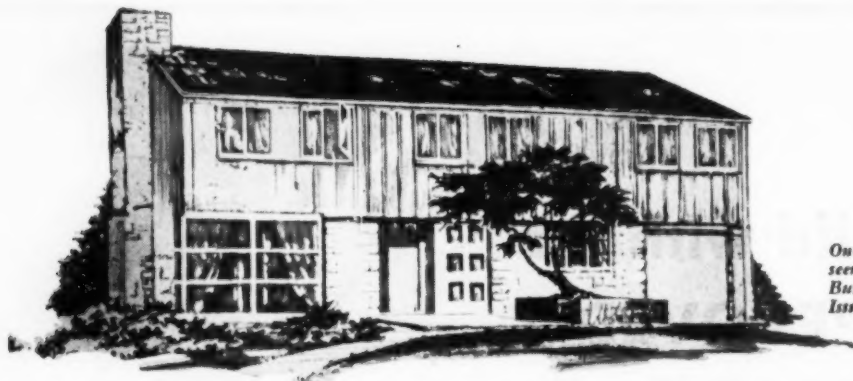
**INSULITE**

Minneapolis 2, Minn.

Made Exclusively From Wood

INSULITE, Dept. AB75, Minneapolis 2, Minn.  
Please send me your free booklet, "Scientific Facts."

Name.....  
Address.....  
City.....State.....



One of the houses to be seen in the American Builder Model Homes Issue, October.

## How will changes in design of new homes affect the sale of YOUR PRODUCT?

The American Builder October Issue will feature first post-war MODEL HOMES—give background of planning and details of construction features.

EVER since the rococo days of the 80's—with their gimcrack porches and many-gabled roofs—there has been a consistent trend toward cleaner, simpler design and less costly construction in home building.

To find out what Builders were planning for the first post-war homes, American Builder early this year started combing the field for substantial, practical plans. Hundreds of Builders were contacted and questioned as to just what they believed would be the most



salable home to meet the accumulated desires of those with savings earmarked for home purchases.

Many outstanding Builders had plans drawn. Property bought. Prospective buyers lined up. From representative sections all over America—Detroit, the New York area, Tulsa, California, Oregon and New England—the most forward-looking, but down-to-earth plans were selected to go into the October issue of American Builder.

American Builder's foremost consideration in selecting the designs was that Builders have them complete, ready to build and offer as Model Homes for public inspection, as the first step in their post-war merchandising programs.

### What this OCTOBER Issue means to manufacturers of building materials and supplies.

This preview showing should help many manufacturers determine how the trend toward practical, modified-modern design and construction will affect the sale of their products. For instance—one Builder is planning to eliminate many breaks in roof lines, which have heretofore added to the cost of building. He and many others are also planning to use only standard lengths and cuts of conventional building materials to provide in post-war homes a greater amount of usable space in living quarters, which is made possible by the elimination of unnecessary and costly ornamentation.

There will be many improvements in kitchens—but not a one that can be converted into a swimming pool! Plenty of worksavers, though. And many Builders like the idea of "packaged" kitchens.

All houses shown in the American Builder Model Homes Issue will be definitely *built for sale!*

For "Tell-All" story of the Building market, see Standard Rate and Data, classification 19, Business Paper Section.



CHICAGO 3, ILLINOIS: 105 WEST ADAMS STREET  
NEW YORK 7, NEW YORK: 30 CHURCH STREET

### How to sell the men who BUILD

According to our field staff, the specifiers, buyers and distributors of building materials and supplies—which takes in the Contractor-Builder, Operative-Builder, and the Lumber and Building Materials Dealer and Distributor—say that in advertising addressed to them they like to see such information as this:

- (1) Illustrations and descriptions of how and where a product can be used; how it is made; how installed; how fast it can be installed. (Give 'em sketches, rather than photographs.)
- (2) "Performance" data—what it has done for others.
- (3) On new products, proof of workability and acceptance by the trade and associations.
- (4) Offer these new booklets you've made up of new products—or offer any literature relating to plans for post-war homes.

All these Builders and Dealers need to know now is what new materials are available, or what improvements have been made in old materials. Builders—big and small, all over the Country—will study the plans and products shown in the October American Builder Model Homes Issue as a guide to their own post-war building plans. So the manufacturer whose copy tells Builders these things they need to know will materially improve his opportunity to get his materials or equipment on the specification sheet.

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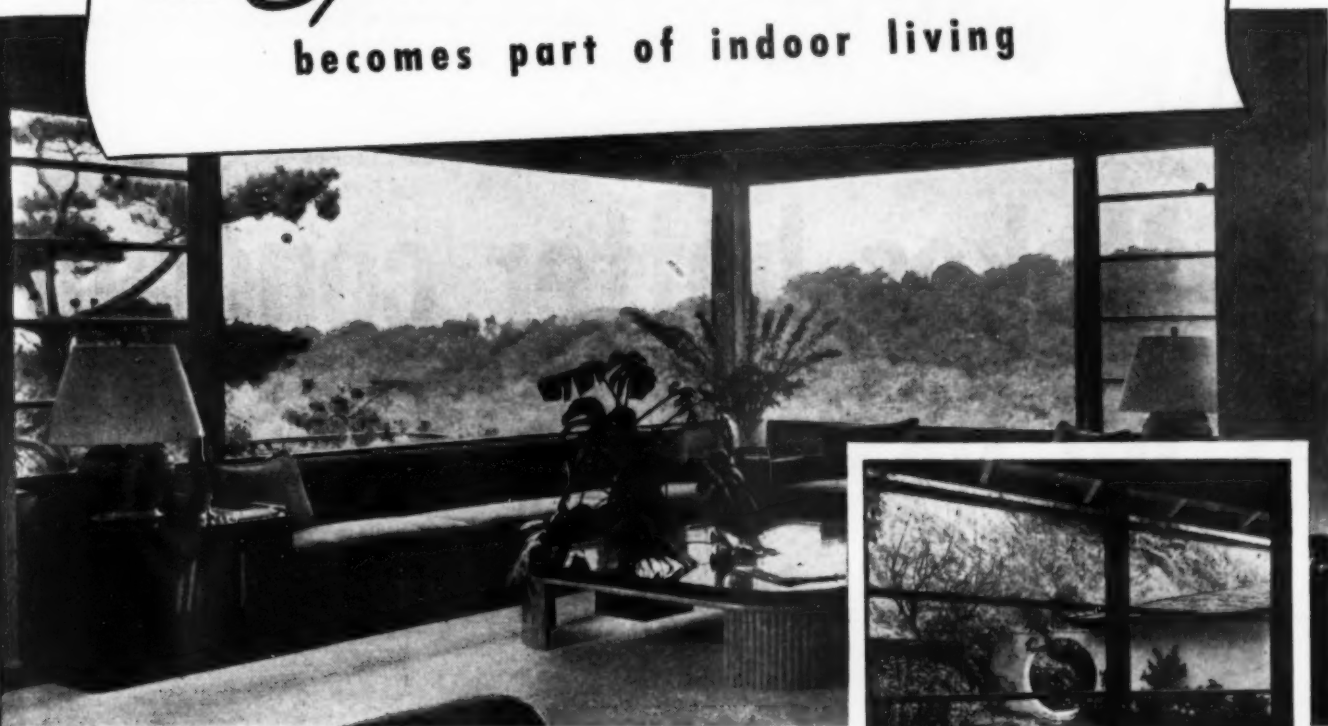
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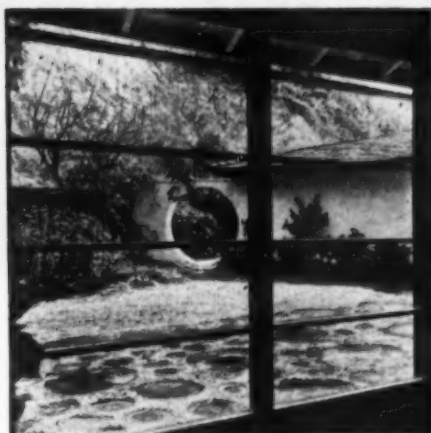
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# THE *Spaciousness* OF THE *Outdoors* becomes part of indoor living



California house by Architect Burton Schutt, A.I.A. of Bel Air, Calif. Polished Plate Glass and Thermopane, the new double-glass insulating unit, were used in this attractive home.



A feeling of spaciousness depends, perhaps, more on what the eye sees than on the actual size of the room.

A wall of glass lets the eyes roam. The room takes on the light, broad feel of the outdoors, is opened up to the beauty of gardens, flowers and views.

Designers of all types of houses are counting on *Daylight Engineering* to make rooms brighter, more livable... rooms flooded with healthful, cheerful, eye-saving daylight. And they're counting on *Daylight Engineering* to win a quicker "yes" from prospects, and greater satisfaction from home owners.

When you open up the walls with glass, you can provide extra comfort and heat saving by using Thermopane—the L-O-F windowpane that insulates. It's a worth-while feature to include in the houses you design or build.

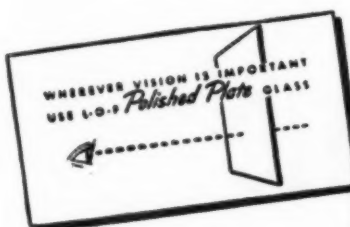
The benefits of Thermopane are described briefly at right. For full information, write for our illustrated Thermopane Book and for Data Sheets by Don Graf. Libbey-Owens-Ford Glass Company, 1175 Nicholas Building, Toledo 3, Ohio.

## *Thermopane...*

**the windowpane that insulates, makes big windows practical in any climate**

Thermopane provides effective insulation because a layer of dehydrated air is hermetically sealed between its two panes of glass. Thanks to the patented Bondermetic Seal, used to prevent dirt and moisture infiltration, there are only two glass surfaces to clean.

This double-glass windowpane fits into a modified sash, just like a single pane of regular glass... stays in all year. It's the modern, practical way to provide the benefits of bigger windows, with assurance of winter comfort and heating economy. Available in Canada.



**LIBBEY • OWENS • FORD**  
*a Great Name in* **GLASS**



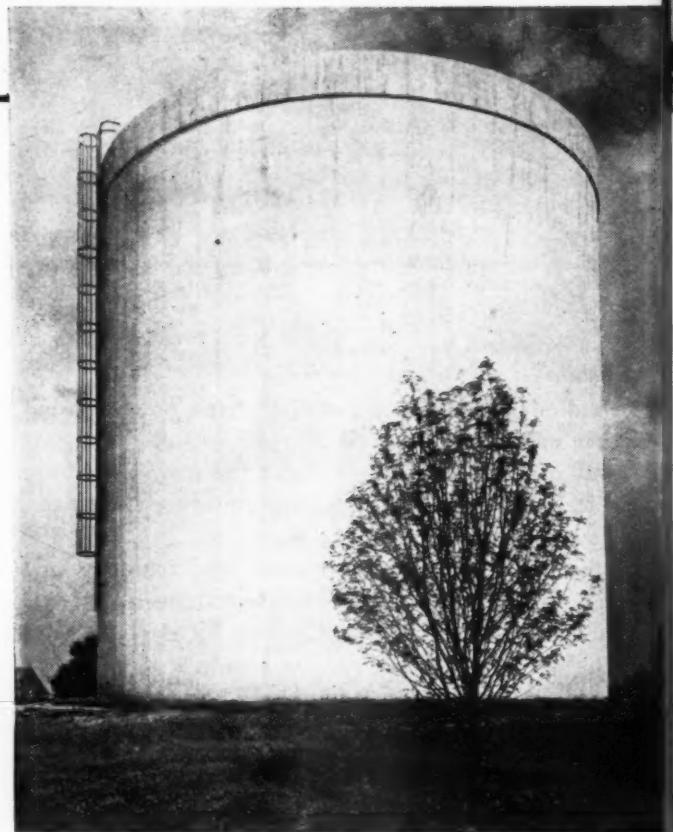
**ATLAS DURAPLASTIC**  
• Air-Entraining Portland Cement

# Makes better concrete at no extra cost....

- ▶ A new stride in cement and concrete;
- ▶ Based on a decade of research and development;
- ▶ Six years of convincing field performance;
- ▶ Complies with ASTM specifications;
- ▶ Calls for no additional materials;
- ▶ Sells at same price as regular cement;
- ▶ Fortifies concrete against the effects of freezing and thawing;
- ▶ Resists pavement scaling;
- ▶ Used with gratifying success since 1939 for foundations, sidewalks, paving, tanks, retaining walls, houses and flooring!

**SEND FOR DURAPLASTIC BOOKLET.** Write to Technical Service Bureau, Universal Atlas Cement Company (United States Steel Corporation Subsidiary), Chrysler Building, New York 17, N. Y.

**OFFICES:** New York, Chicago, Albany, Boston, Philadelphia, Pittsburgh, Cleveland, Minneapolis, Duluth, St. Louis, Kansas City, Des Moines, Birmingham, Waco.



**St. Charles, Mo., 1,000,000-gal. water tower built with concrete made with Duraplastic cement, supplied by Fred Schmitt Material Co., St. Louis. Wm. S. Hewitt, engineer, Chicago; J. J. Wuellner & Son, contractor, Alton, Ill.**

# ATLAS DURAPLASTIC

TRADE MARK REG.  
U. S. C. CO.

**The Air-Entraining Portland Cement That Makes Concrete More Durable and More Plastic**

IN A N  
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# Today's nest eggs will mean MORE NEW HOMES TOMORROW!



Featured in national newspaper advertising by AMERICAN - "Standard", this charming New England home is selling plenty of War Bonds for Uncle Sam, building future business for you.

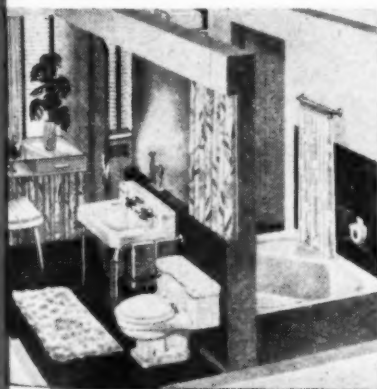
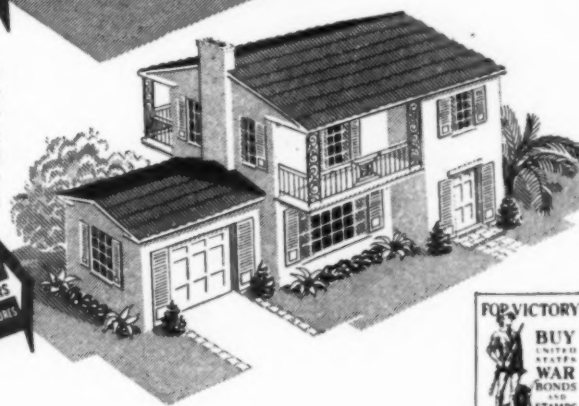
"Want this ranch house?" asks the AMERICAN - "Standard" newspaper advertisement of millions of Americans. And they are told that War Bonds will help them own it.



IN A NATIONWIDE newspaper campaign, AMERICAN - "Standard" is urging millions of American families to buy War Bonds today—so they can own the home of their dreams tomorrow! And these prospective homeowners are also being urged to consult their Architects and Contractors for the help they need in planning homes that will fit both their needs and their pocketbooks.

They'll depend on your experience and ability to provide the finest homes their money can buy. They'll also be guided by your advice in the selection of heating and plumbing equipment. And when you suggest AMERICAN - "Standard", you'll be recommending a name they know and trust. For this name has for many years identified the best in heating and plumbing that research and practical engineering can provide.

"Feather your nest with War Bonds," urges our large newspaper advertisement. And when the Bonds can be turned into homes, you'll be called on to help build them.



(Left) Ideas like the new Duo-Use Bathroom have been featured by "Standard" to keep up interest in homes. This double-duty bathroom is adaptable to almost any floor plan—requires no extra fixtures or piping.

(Right) Economical, automatic heat as supplied by the Severn Boiler makes for top comfort, top convenience. And the attractive, streamlined appearance makes it ideal for planning recreation rooms.

## AMERICAN & Standard RADIATOR & Sanitary

New York CORPORATION Pittsburgh




# *Windowalls*

EN





A black and white photograph of a dining porch with large Andersen window units. The windows are multi-paned and framed in dark wood. The view through the windows shows a lush, wooded landscape. The porch is enclosed by the window frames, which have visible handles and locking mechanisms.

# ENCLOSE COMFORT, DISCLOSE A VIEW

## DINING PORCH, SUN-CONDITIONED WITH ANDERSEN COMPLETE WOOD WINDOW UNITS

In this suburban New York house, WINDOWALLS perform their three functions perfectly. They enclose comfort in cold weather, provide superb ventilation in mild weather and disclose a lovely view of the outdoors. To make this charming WINDOWALL, five Andersen Horizontal Gliding Window Units are arranged in a

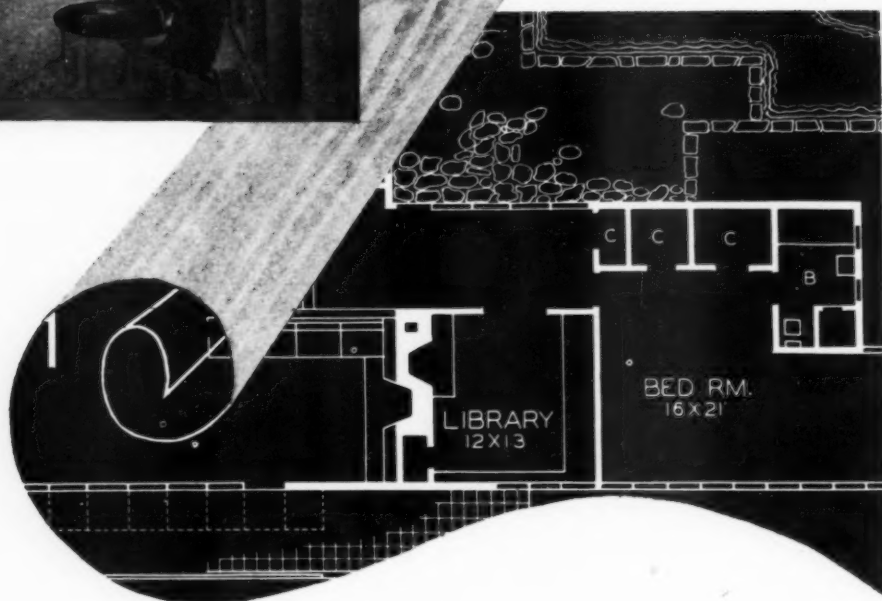
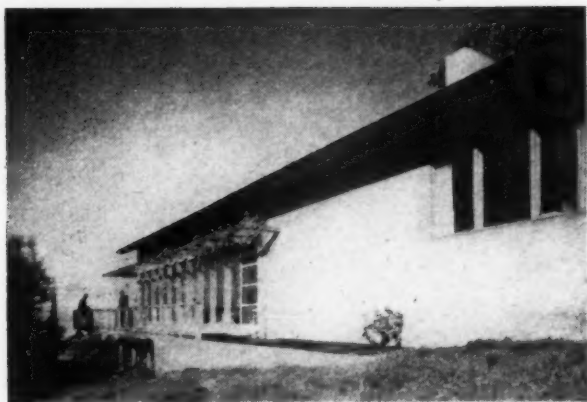
sunny corner. All sash can be removed in summer to turn this dining room into an airy porch.

Architect Julius Gregory and his clients, Colonel and Mrs. Carl Norcross, used Andersen Horizontal Gliding Window Units, Number 40046, sash opening size 4'0" x 4'6".

See our catalog in Sweet's—or write us for additional information.  
Reprints of Andersen Windowalls advertisements, in a convenient file pocket, are available upon request.  
Just ask for the "Windowalls File."

*Andersen Corporation*

BAYPORT, MINNESOTA



## nailing your natural resources . . .

John B. Yeon's blueprint translated into red-wood has produced a house that belongs to its landscape. The open plan suggests the space and sweep of the Northwest, meets the demands of views, contours and liveability with forthright simplicity. July *House & Garden* features it as a successful adventure in modern planning.

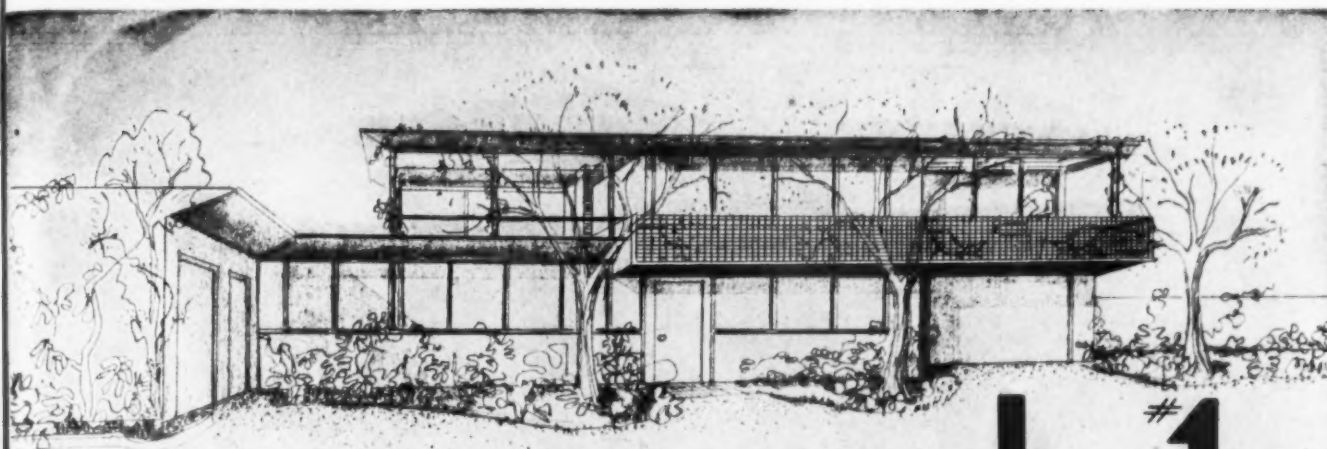
A survey of the post-war building plans of *House & Garden* readers shows that 85% of them will build permanent homes costing an average of \$13,544.\* This group will be first in the building market, will influence millions more by their taste in buying. Here is your *entering-wedge* market. You can meet it in *House & Garden*.



# House & Garden

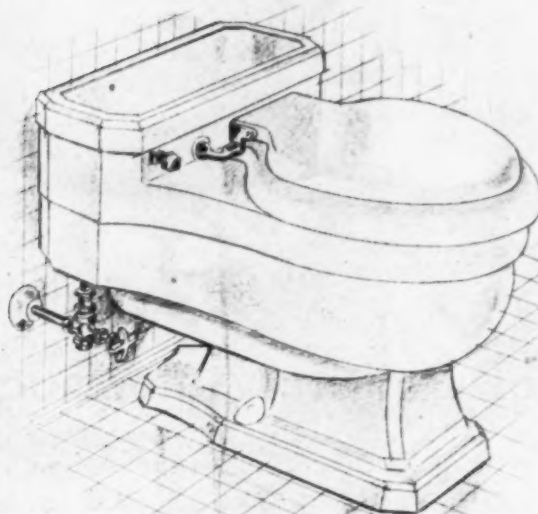
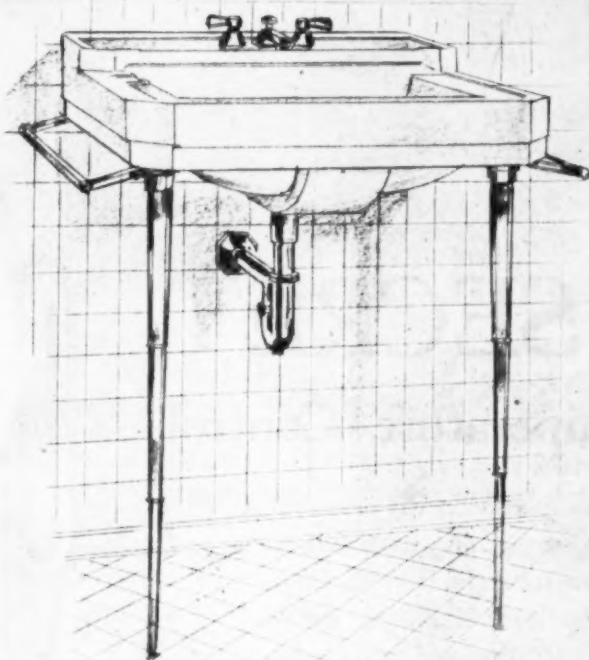
\* \$7500 more than the average post-war home will cost.

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# Case Study House #1

SPONSORED BY ARTS & ARCHITECTURE MAGAZINE  
J. R. DAVIDSON, DESIGNER



...with plumbing fixtures by **Case**

WHEN your objective is "a simple and straightforward expression of the living demand of modern-minded people," the selection of Case vitreous china bathroom fixtures is natural and logical.

The pleasing outward appearance as well as the excellent mechanical construction of these fixtures continues to win the favor of leading architects concerned with comfort, serviceability and convenience.

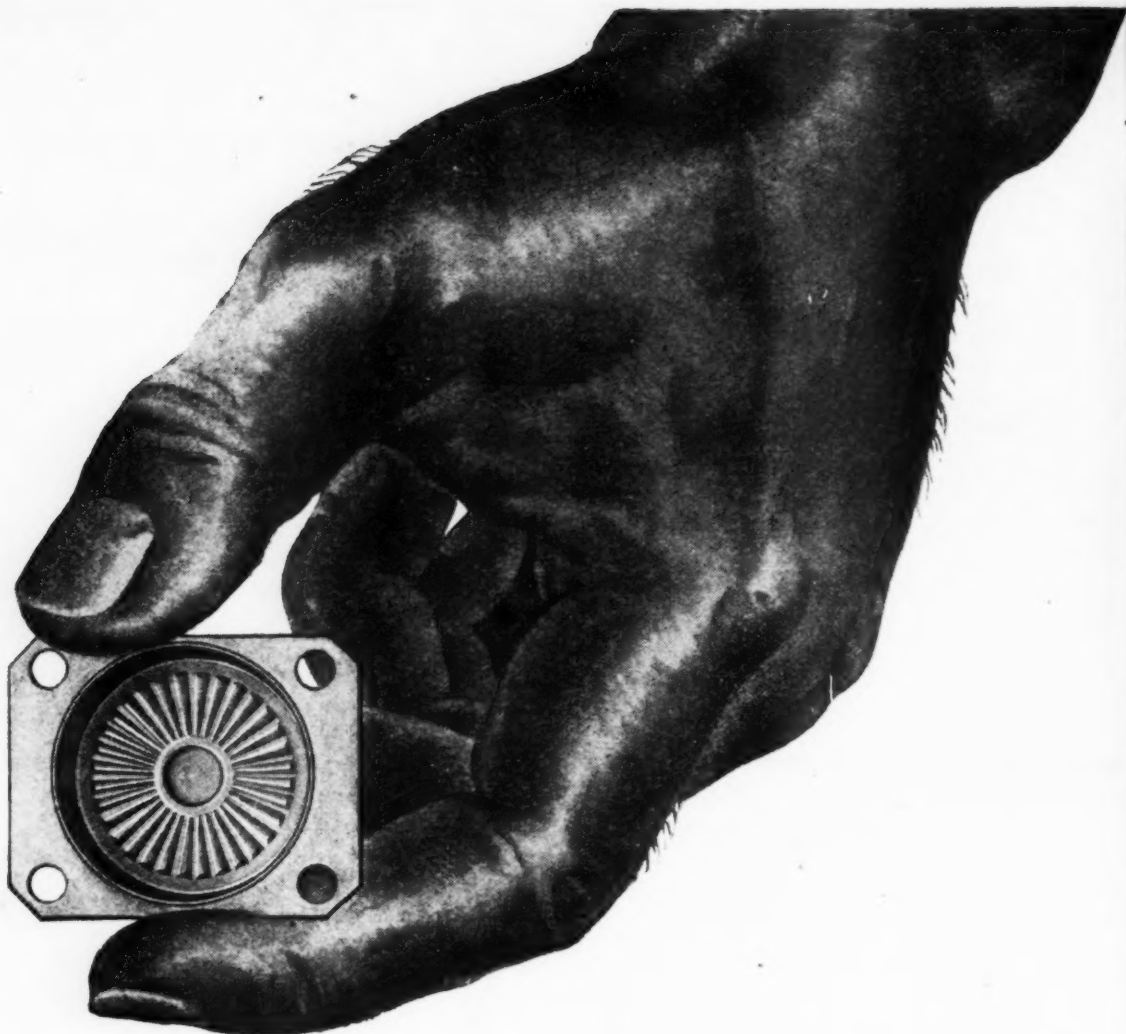
Mr. Davidson has specified Case fixtures for "Case Study House #1," first in an interesting group which is to be constructed as soon as conditions permit. His selection reflects the acceptance of "Case quality" by professional men and home owners alike.

Case plumbing fixtures are distributed nationally. See the Classified Telephone Directory or write to W. A. Case & Son Mfg. Co., Buffalo 3, New York. Founded 1853.

**ABOVE**—America's most popular water closet is the T/N. Modern in design, quiet in operation, precision-built, non-overflow, non-syphoning. An adaptable free-standing fixture.

**LEFT**—The famous Winston Lavatory "fits" equally well in the formal house or the cottage. For convenience and utility it features an integral shelf, extra large basin, anti-splash rim and concealed front overflow.





## Here is the **SECRET** of Positive Automatic Temperature Control

WHITE-RODGERS automatic temperature controls operate on the principle of expansion and contraction of a liquid against the diaphragm, with heat and cold. This principle is the secret of positive temperature control. The Hydraulic-Action diaphragm is an exclusive feature of White-Rodgers automatic temperature controls. They are easily installed, accurate in operation and provide long, trouble-free performance. Write today for catalog and installation data on heating controls for your post-war houses.

Here's How  
It Works:



### CONTRACTED

At left is a cross-section of the diaphragm and part of the liquid-filled capillary. The liquid has contracted, the diaphragm moving inward, causing the switch to function.



### EXPANDED

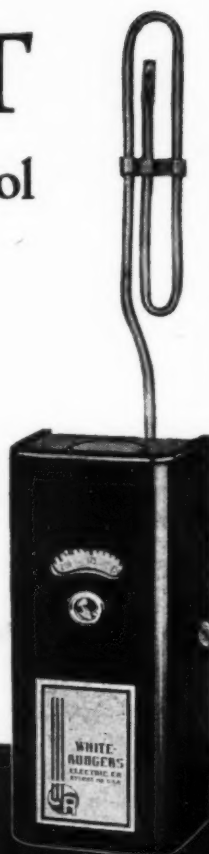
In view at left, the liquid charge of the capillary has expanded with a rise in temperature. This positive force moves the diaphragm outward and causes the switch to function.



# WHITE-RODGERS ELECTRIC CO.

ST. LOUIS 6, MISSOURI

*Controls for Refrigeration • Heating • Air Conditioning*




Conserv  
special  
space th  
income p  
by flarin  
to tighte  
made fo  
must be  
installed  
where re

The inst  
Fittings  
years of  
bronze c  
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Copper  
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**SPACE SAVING—A FACTOR . . .**

*Streamline*  
 TRADE MARK REG. U. S. PAT. OFFICE

**HELPS  
 PROVIDE  
 IT!**

Conservation of space is a very important consideration, especially in large public buildings and hotels. The more space that can be utilized for rentable apartments, the more income produced. Since STREAMLINE Fittings are not connected by flaring or threading, no room is required for wrench play to tighten the Fittings into place, nor need any allowance be made for protruding valve stems, which on threaded pipe, must be swung in an arc to secure. Valves and fittings are installed in a minimum of space, they are located exactly where required, and soldered.

The installation of STREAMLINE Copper Pipe and Solder Type Fittings under normal water conditions assures many, many years of trouble-free, efficient service at low cost. Copper and bronze do not rust. STREAMLINE Pipe is made from pure copper. STREAMLINE Fittings are manufactured in copper and bronze.

Copper Pipe loses less heat by radiation than ferrous piping, particularly if the surface is kept polished, although copper itself is a very rapid conductor of heat. Therefore, it naturally follows that there is considerably less loss when the heated element, water or steam, is being conveyed from the point of generation to the points of distribution through copper pipe of uniform, unclogged, internal conducting area.

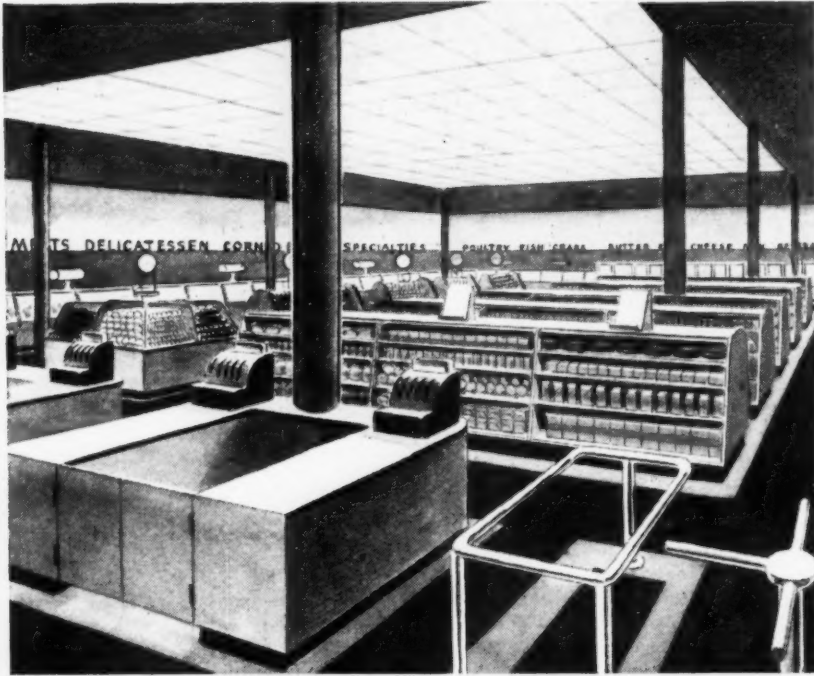
Insist on specifying and installing STREAMLINE Copper Pipe for your postwar construction—or for replacement.

**STREAMLINE**  
 PIPE AND FITTINGS DIVISION  
**MUELLER BRASS CO.**  
 PORT HURON, MICHIGAN

# STANLEY HARDWARE for the SUPER MARKET BUILDING



**...makes friends  
for you!**

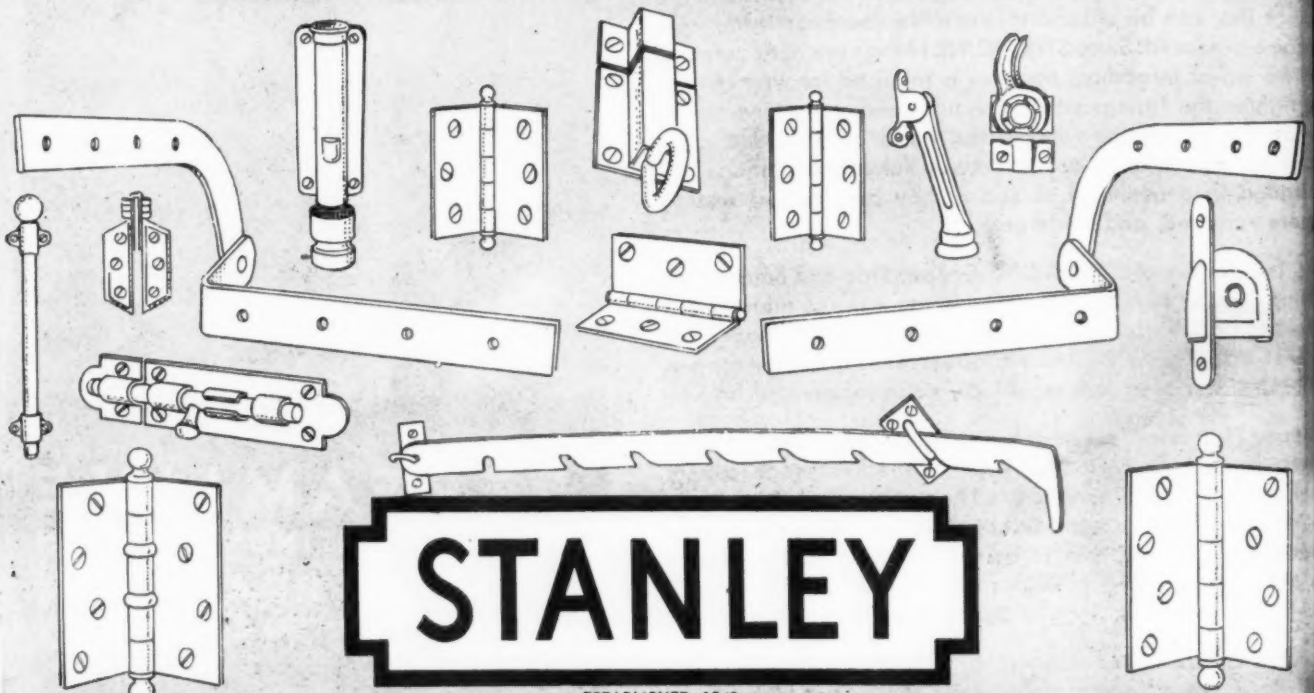


The overcrowded condition of even the larger super-market buildings today is an indication of coming large scale construction along this line. And such building immediately suggests Stanley – the Hardware that is, above all, durable.

For you, the builder, it will be a real opportunity to install familiar Stanley door butts – window accessories – cabinet hinges, knobs and drawer pulls – and other items of the complete Stanley line. The years of continued satisfaction to building owners will be a mighty asset to you on every construction job. The Stanley Works, New Britain, Conn.



## Typical Stanley Hardware Items for Market Buildings

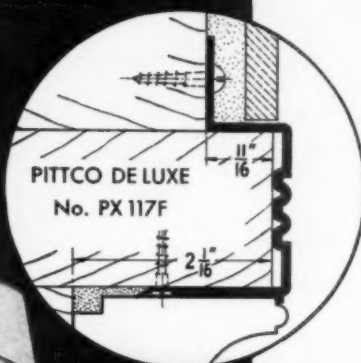
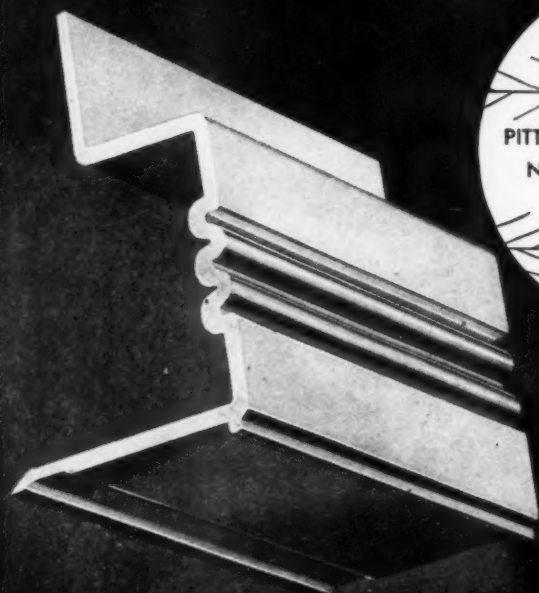


# STANLEY

ESTABLISHED 1843

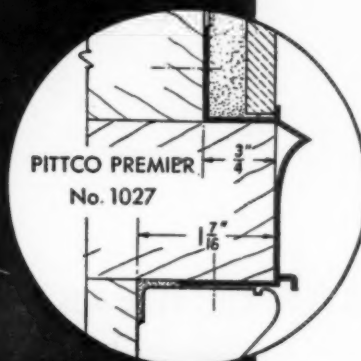
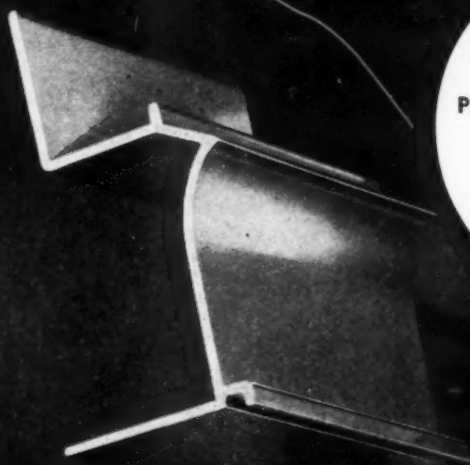


## Two lines of PITTCO METAL with the same rich finish



### **PITTCO** DE LUXE Pittco DeLuxe Store Front Metal

Pittco DeLuxe Metal has a satin-smooth finish, rich in tone and gloss, which has delighted both architects and store owners. They like it because it harmonizes perfectly with any material or color combination. And the Pittco DeLuxe line also has rugged, sturdy strength and clear, sharp profiles assured by its extruded method of manufacture. Imaginative styling and the wide variety of bars, mouldings and sash in the De Luxe line permit the architect many effective combinations. For symmetry, strength and perfect finish, Pittco De Luxe is the ideal choice for impressive, distinctive store fronts of high quality.



### **PITTCO** PREMIER Pittco Premier, although

lighter in weight and more moderately priced than Pittco De Luxe, has the same rich, smooth finish. And into the Premier line, too, has gone the same careful planning which has made the De Luxe line so popular. All Premier members were styled at one time so that perfect harmony would be inherent in the line . . . each Premier unit complementing the beauty of other pieces used with it. Pittco Premier construction can be set quickly and easily . . . a simple outside procedure that effects a substantial savings in setting time. In Pittco Premier architects will find a lightweight, economical metal with which to create pleasing, appealing store fronts.



**PITTCO STORE FRONT METAL**  
PITTSBURGH PLATE GLASS COMPANY

*"PITTSBURGH" stands for Quality Glass and Paint*

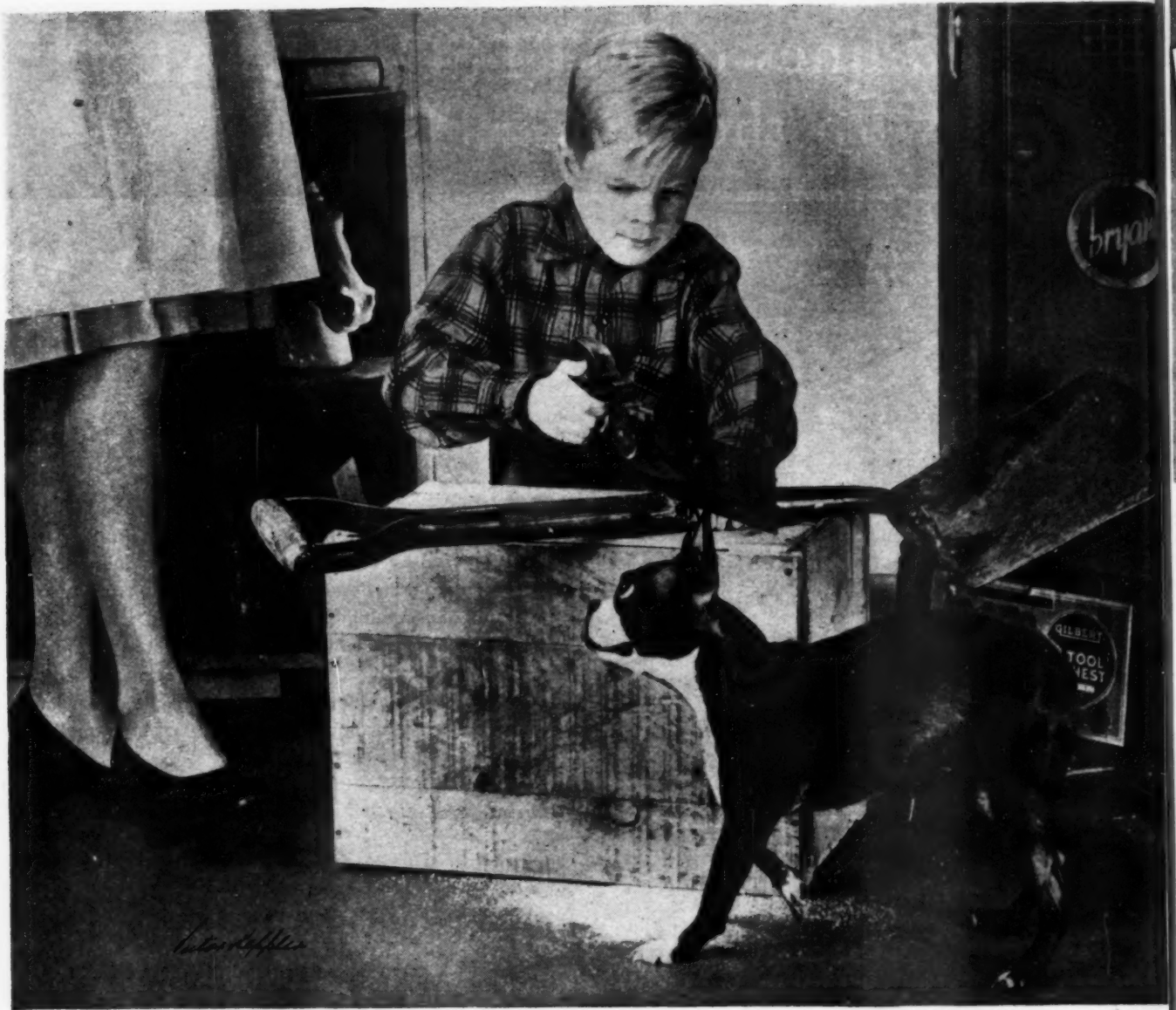


Illustration from Bryant's national advertisement

## READY FOR NEW POSTWAR IDEAS?

Toss out your prewar ideas of what made good home heating! Plan to be in step with modern desires in heating with Bryant Heater postwar equipment . . . *the most complete line of gas heating in the nation!*

Soon to be announced in these pages, this line will include more than thirty gas heating units. It will provide the proper equipment for every heating job, whether complete winter air conditioning for the large residence, room heaters for the small cottage, or modern

heating for office building or industrial plant. There will be "new idea" units designed to save space, to harmonize with decoration. There will be other allied specialties to help you put extra sales appeal in every house you build.

Watch for the coming announcement of the Bryant Heater postwar line. It's just what you've been hoping for if you are ready for new postwar ideas!

THE BRYANT HEATER CO., CLEVELAND, OHIO  
*One of the Dresser Industries*

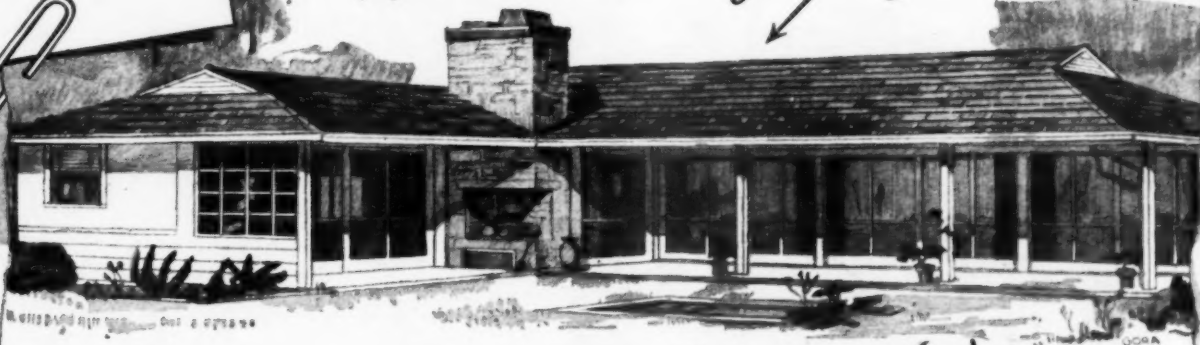
**bryant**  
**GAS**  
**HEATING**



LET THE PUP BE FURNACE MAN

## Notes for Tomorrow's Homes

*Let's get this deep shadow-line  
effect...adds to massive  
appearance of roof*



*(better specify Bird Master-Bilt Shingles)*

**Explanation:** Extra-thick butts of Bird Master-Bilt asphalt shingles cast deep shadow lines and give envied massive appearance, matched by practical gains in extra years of wear. The thickness of shingle where exposed to weather results from double layers of asphalt and granules. While the top layer of granules protects the surface from damaging sunlight, the extra inside layer acts as reinforcement between the layers of asphalt to resist checking and cracking. Available in a variety of colors, with quality assured under Bird's exclusive method of Controlled Production.

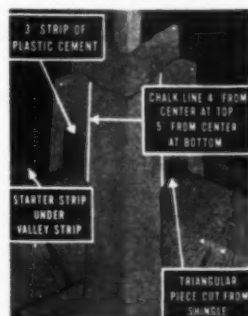
**P. S.** These shingles meet all F. H. A. requirements, and are approved by Underwriters' Laboratories, Inc., as fire-resistant.

**N. B.** Get full details from Sweet's File, Architectural, catalog 8 b/1. Send for a descriptive folder to Bird & Son, inc., East Walpole, Massachusetts, Dept. CD-47.

### Master-Bilt SHINGLES

Master-Bilt Shingles, in a wide variety of colors and blends, are only one of Bird's many quality products for building, repairing and modernizing homes and industrial buildings. See also Sweet's File, Architectural, 8 a/3 for Bird Built-Up Roofs, 9 b/1 for Bird Neponset Black Building Paper for use as vapor barrier with insulation.

### TIME-SAVING SPECIFICATION DETAILS FOR BIRD Master-Bilt ROOFS — Valley Treatment



Fit snugly into valley, 2 layers of 90-lb. Mineral Surfaced Roofing, the bottom layer 16" wide, the top layer 20" wide, both centered on valley. Nail along edges. Snap chalk line each side of valley, 4" from center at top, 5" at bottom. Cut edges of shingles bordering valley to fit chalk lines. Cut 2" triangular piece from top valley corner of each shingle to prevent seepage at tips bordering valley. Embed valley edge of shingle in Bird Plastic Cement applied in strip 3" wide, 1/2" from chalk line.

SINCE  1795

*Men who know  
the best know*

# BIRD

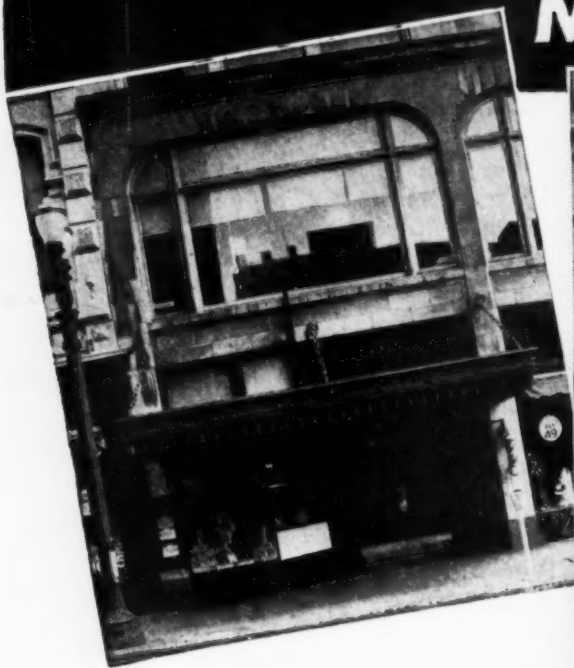
1795 — OUR 150<sup>th</sup> ANNIVERSARY — 1945

ASPHALT SHINGLES • INSULATED SIDINGS • INSULATION BOARDS  
FLOOR COVERINGS • WALLBOARDS • BUILDING PAPERS  
RUBBERLIKE FLOOR RUNNERS • INDEX PRESSBOARDS • SHIPPING CONTAINERS  
SIDE CARTONS • BUILT-UP ROOFS • BIRD-FIBRE WOOD FRAME CASES

BIRD & SON, inc., East Walpole, Mass. • NEW YORK • SHREVEPORT, LA. • CHICAGO, ILL.

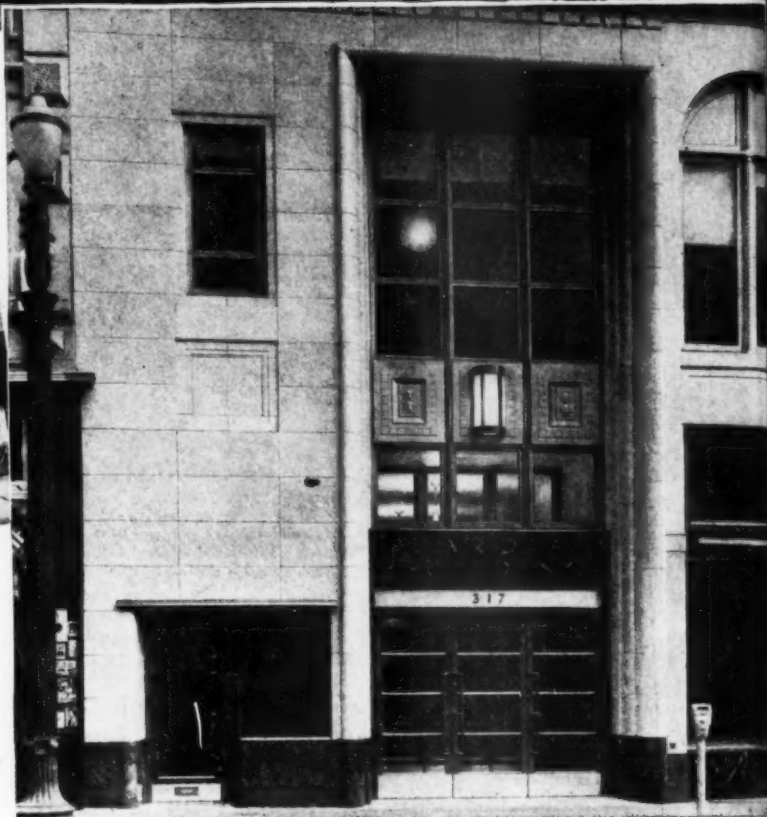


# When your problem is— **MODERNIZATION**



Remodeled entrance of Guardian Building,  
Portland, Oregon.

H. A. Herzog, Inc., Architect.



## ...use **ARCHITECTURAL METALS** for both beauty and serviceability!

What a difference a new store front or a new entrance can make. Gives any building a "fresh" start — increases its rentability.

Today the need for building modernization is especially great. Hundreds of thousands of old structures need to be modernized inside and out.

As you plan the modernization of old buildings or the design and construction of new ones, consider the many ways you can use architectural metals to good advantage. Use

them to give extra strength or protection in stairs, railings, windows, door frames and hundreds of other building items. Use them, too, in the entrance, for store fronts, marquees, grilles and all types of exterior and interior decorations.

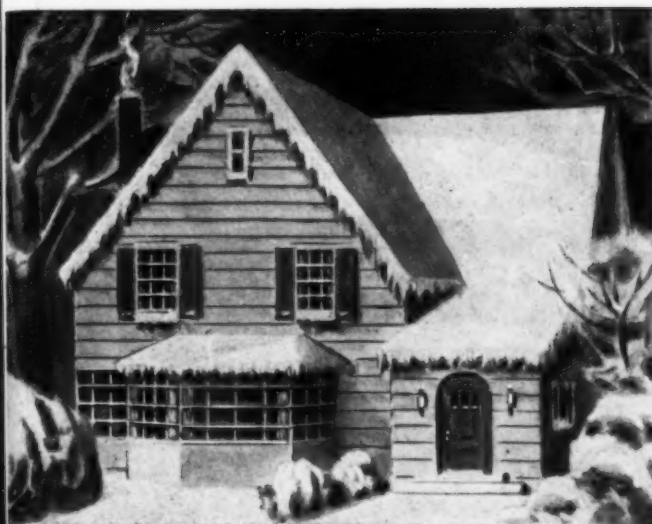
Architectural metals—both ferrous and non-ferrous—will be available for immediate use when building starts again. Include them in your plans right now. For a Directory of Leading Architectural Metal Fabricators who are anxious to work with you, write to Dept. B-7.

### **NATIONAL ASSOCIATION OF ORNAMENTAL METAL MANUFACTURERS**

209 CEDAR AVENUE

TAKOMA PARK

WASHINGTON 12, D.C.



## Cotton Insulation tops all in *protection* against both cold and heat!

No other commercial insulating material possesses the amazing efficiency of cotton.

U. S. Government analyses have demonstrated that Cotton Insulation, prepared in accordance with Department of Agriculture specifications, is from 4% to 36% more efficient than ten other commercial insulating materials.

Cotton's tiny hollow tubular fibers, and the dead air spaces formed by the fluffy mass they make when matted, create a natural barrier against both cold and heat. Cotton, as insulation, is nature's own efficient creation.

Light-weight . . permanent resiliency . . safety in handling . . fire resistance . . ease of installation . . these and many more advantages are yours in Cotton Insulation.

Cotton Insulation is the insulation of the future and the insulation of TODAY. For it is made in thicknesses and widths to meet your needs and is adapted to quick installation in new or existing structures.

To learn more about this remarkable product, just send for the book, "COTTON INSULATION".

**NATIONAL COTTON COUNCIL OF AMERICA  
COTTON INSULATION ASSOCIATION**

### HANDLES EASILY

One person can insulate an attic in a few hours, or experienced applicators are available to install Cotton Insulation.

### SIMPLE TO INSTALL

To lay it flat, just unroll it like a rug. For upright installations, you simply clip it on. Not abrasive. Harmless to skin and clothing.

### MAXIMUM INSULATION

Exceeds other materials 4% to 36% in insulating effectiveness. Can cut fuel bills up to 30%.

### LIGHT IN WEIGHT

With 20% to 25% less bulk required, Cotton Insulation represents a structural load factor 40% to 90% less than the same thickness of other materials.

### WILL NOT BURN

Even a blowtorch at 1800° will not make it burn. Nor will freezing affect it. Does not attract vermin.

### WILL NOT PACK DOWN

It stays fluffed and efficient with permanent resiliency. Neither age nor vibration will pack it down.

### MADE TO GOV'T STANDARDS

Production is government inspected. FHA and FPHA approved. No priorities needed.

### SEND FOR THIS BOOK TODAY!

In this book you will find the full amazing story of Cotton Insulation and a full detailed account of government tests. Every architect, contractor, builder, and dealer can benefit by it.



National Cotton Council  
P. O. Box 18, Dept. 71  
Memphis 1, Tennessee

Please send me your book containing government analyses of the properties and use of Cotton Insulation.

Name.....  
Occupation.....  
Address.....  
City..... State.....



## LUMITE—the screen that lasts!

A screen that can't rust—*ever*?

Yes, that's LUMITE\*, the modern plastic insect screen cloth. Nothing can corrode it! A swish or two with a damp cloth restores its spotless freshness. And because it is *non-staining*, repainting of sills and sidewalls is a thing of the past.

LUMITE's durability is no less amazing. It has unusual tensile strength and resilience . . . will not dent or bulge in ordinary use.

LUMITE can *never* wear out through natural causes. Its "life expectancy" is far greater than

ordinary screens. Tested daily on today's battlegrounds, LUMITE is a *proved* product . . . a "must" in any postwar building plans.

### FREE SAMPLES ON REQUEST

Although the Pacific war must come to an end before we'll be able to release LUMITE for general civilian use, prepare yourself *now* for tomorrow's building boom! Write to us today for further information about this revolutionary new plasticscreen. We'll be glad to send you complete descriptive literature, together with free samples of LUMITE.

\*WOVEN FROM SARAN. PRODUCT OF DOW CHEMICAL CO.

### Tested in War — Ready for Peace

Many millions of feet of LUMITE screening are now being used successfully to protect the Armed Forces against disease-bearing insects. Today's fighting men are your tomorrow's customers . . . and they're sold on LUMITE already!

- ★ 100% Rustproof under any conditions.
- ★ Cannot stain sills or sidewalls.
- ★ Strong, resilient . . . can't dent or bulge.
- ★ Never needs painting . . . non-inflammable.
- ★ Not affected by humidity or salt air.
- ★ Will be competitively priced with better grades of wire screen cloth.

# LUMITE

Chicopee Manufacturing Corp., Lumite Division

40 Worth Street



New York 13, N.Y.

*World's largest makers  
of Plastic Screen Cloth*





YOUR dreams of a new home must wait on the future. But if you could see all the thrilling advantages that are being planned by American industry for your postwar home, you'd agree that it's well worth waiting for!

- ● And now that V-E Day belongs to history and part of the battle has been won, you'll feel all the more like buying additional War Bonds, both to speed final Victory and to help finance your new home when you're ready to build it.

- ● The modern techniques of functional de-

sign and compact construction which enabled Defoe to build seven different types of fighting ships for the Navy will be converted to producing quality-built homes in the postwar period.

- ● Defoe will produce homes with advantages of beauty, comfort and livability heretofore unknown in their price range. There will be nothing stereotyped, extreme or fantastic in Defoe homes. They will combine functional convenience with a wide range of individual designs, yet give you all the economies of volume production.

COPR. 1945 DEFOE SHIPBUILDING CO.

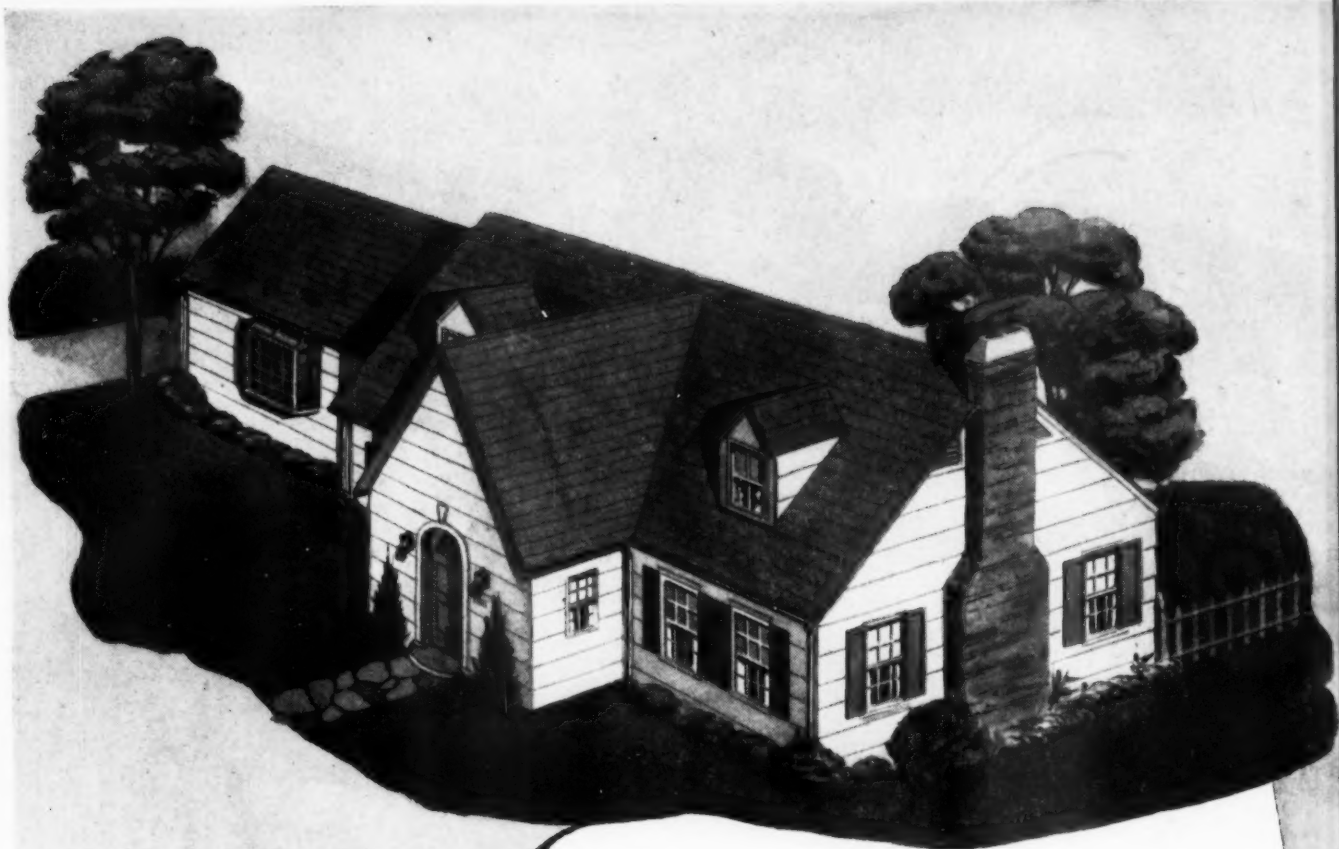
HOUSING DIVISION - DEFOE SHIPBUILDING COMPANY, BAY CITY, MICH.

**Defoe**

BACK THE ATTACK  
—BUY WAR BONDS

SHIPS FOR VICTORY  
SERVANTS FOR PEACE

☆☆☆☆ Five White Star Renewal Citations now decorate the Navy "E" Award won by Defoe workers.



**SPECIFY**

*Gar Wood*

# HOME HEATING UNITS

The Pioneer Burner Unit

**FOR EFFICIENT,  
ECONOMICAL  
PERFORMANCE**

One Gar Wood user writes: "It's a pleasure to give my enthusiastic approval of the Gar Wood Heating Unit installed in my new home. . . . We never knew it was possible to regulate home comfort without worry and at such low cost." This is typical of the attitude of thousands of Gar Wood users everywhere. Builders and architects owe it to their clients to provide the best possible heating performance economically. Be sure to specify Gar Wood! New Tempered-Aire and Boiler Burner models will be announced soon.



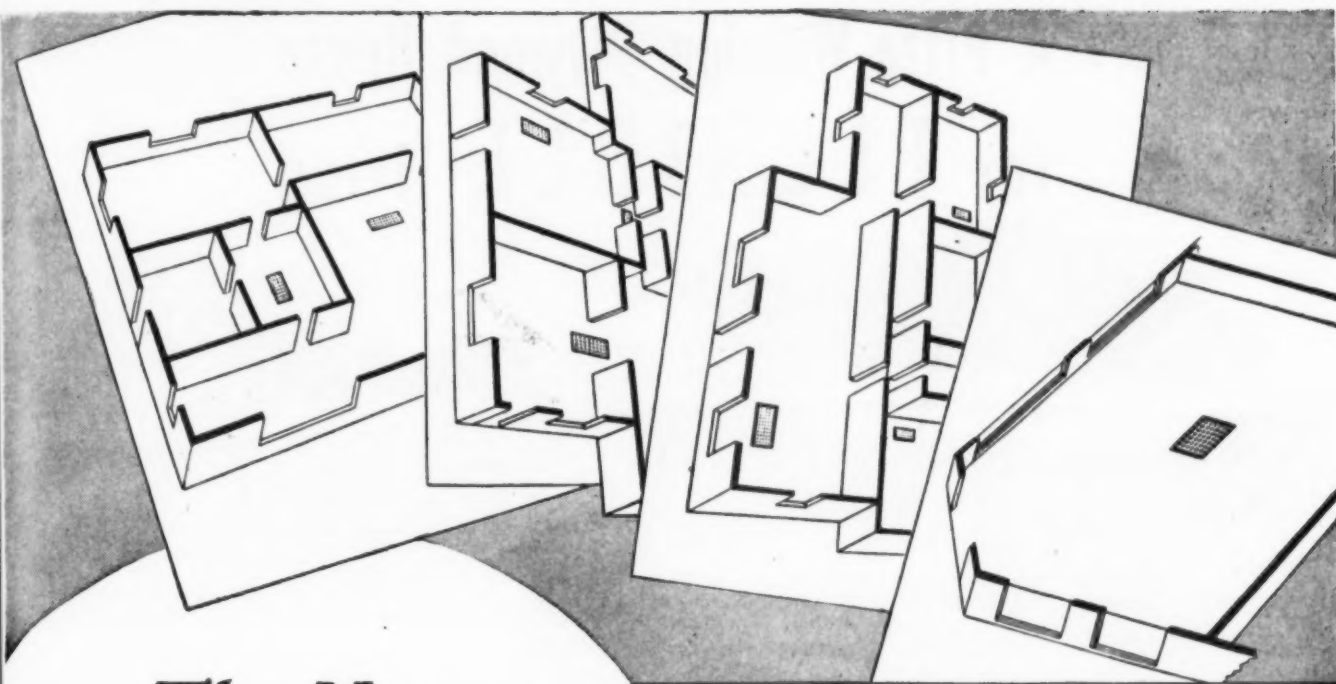
**GAR WOOD INDUSTRIES, INC., HEATING DIVISION**

7924 RIOPELLE STREET

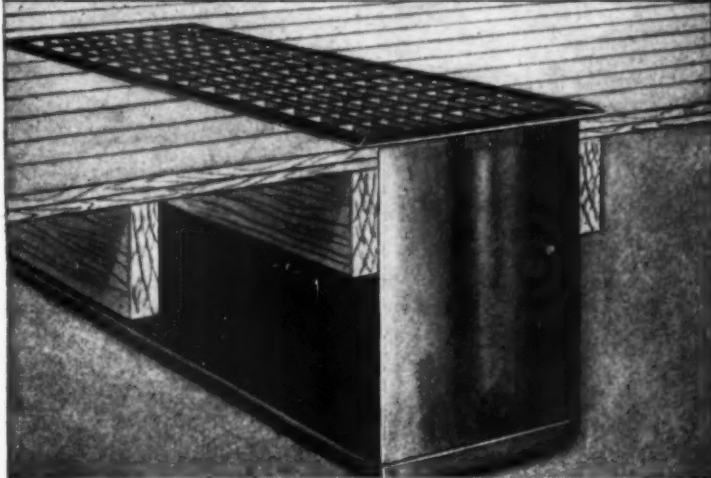
DETROIT 11, MICHIGAN

Canadian Distributors: Engineering Industries, Ltd., 282 Dupont St., Toronto, Ont.

HOISTS and BODIES . . . WINCHES and CRANES . . . TANKS . . . ROAD MACHINERY . . . MOTOR BOATS



# *The New* **TEMCO** Gas Floor Furnaces Solve Heating Problems *in homes... stores... offices*



**A**FTER THE WAR, you'll be able to offer your clients an economical, *automatic* gas heat in any of your structures, whether it has or has not a basement.

This new heating plant—about half the size of a refrigerator—is the TEMCO Gas FLOOR FURNACE.

Suspended just beneath the floor, nothing shows but a decorative metal grill. No need for excavation or for large furnaces to burn coal, wood or gas.

The TEMCO Gas FLOOR FURNACE, re-engineered to include new features developed in wartime experimentation, is among the first to gain American Gas Association

approval, under their new and stricter specifications. The TEMCO FLOOR FURNACE burns all fuel gases with equal efficiency and economy. Its control is fully automatic, and its safety devices assure 100% protection under all circumstances.

## **SEND FOR COMPLETE DESCRIPTION, SPECIFICATIONS**

For architects and builders we have prepared complete technical information on TEMCO Gas FLOOR FURNACES . . . including a set of perspective drawings, showing the most effective location of TEMCO FLOOR FURNACES in a number of typical layouts.

*Write for your copy today.*

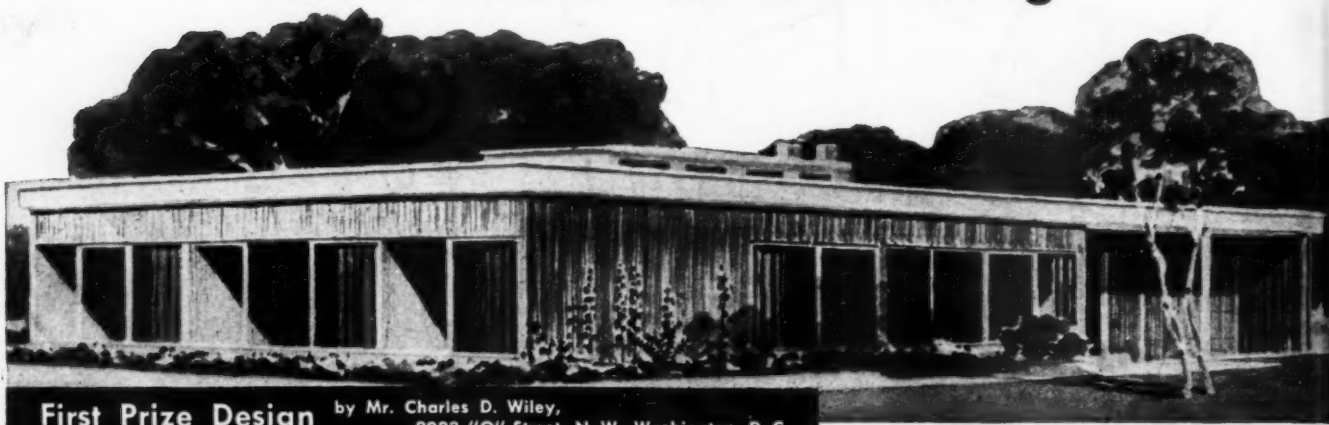


FOUR  AWARDS

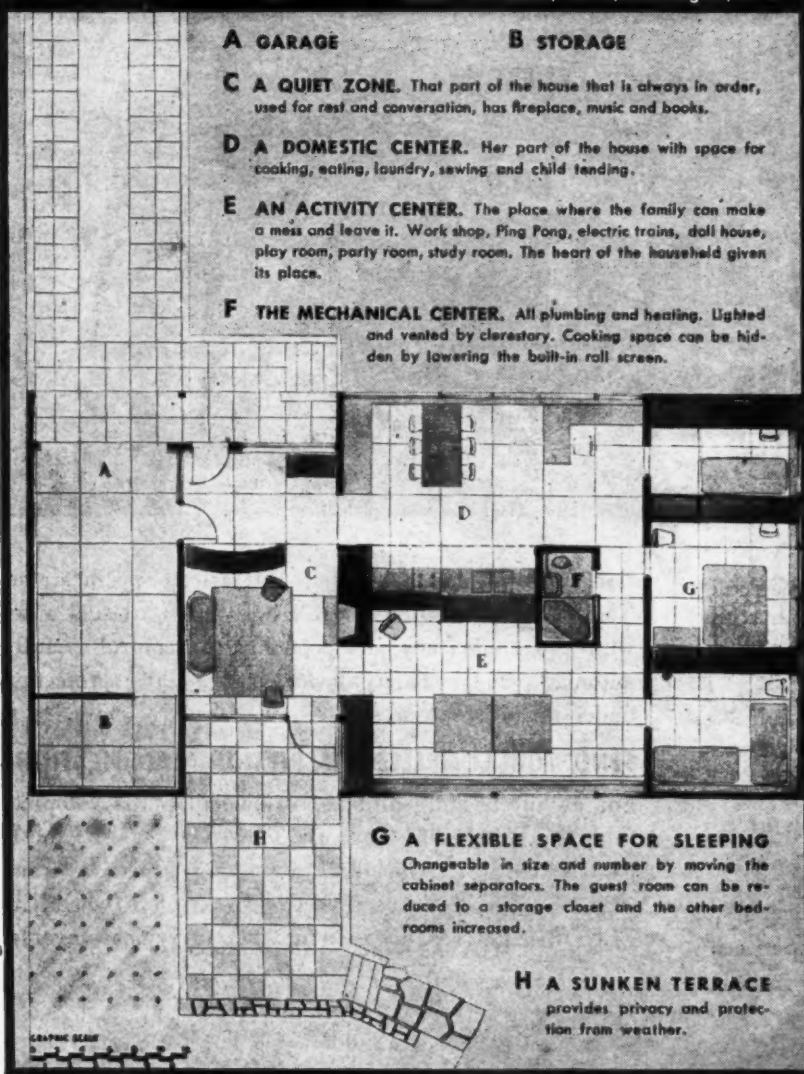
**TENNESSEE ENAMEL MFG. CO.**  
*Nashville, Tenn.*



# A Prize-Winning Plywood House for FLEXIBLE living



**First Prize Design** by Mr. Charles D. Wiley,  
2023 "O" Street, N. W., Washington, D. C.



## WELDWOOD Plywood

Weldwood Plywood and Plywood Products are manufactured and marketed by  
**UNITED STATES PLYWOOD CORPORATION**  
New York, N. Y.

**THE MENGEL COMPANY**  
Incorporated  
Louisville, Ky.

Distributing units in Baltimore, Boston, Brooklyn, Chicago, Cincinnati, Cleveland, Detroit, High Point, Los Angeles, Newark, New York, Oakland, Philadelphia, Pittsburgh, Rochester, San Francisco, Seattle. Also U.S.-Mengel Plywoods Inc., distributing units at Atlanta, Jacksonville, Louisville, New Orleans. Send inquiries to nearest point.

Play, work, unexpected guests or just plain settin' . . . all are amply provided for in Charles D. Wiley's prize-winning design.

His first-prize plan, in the recent United States Plywood—"Arts & Architecture" Small Home Competition, put today's desire for care-free comfort into every nook and corner of this extremely "livable" house.

Mr. Wiley took full advantage of plywood's ability to combine beauty with utility.

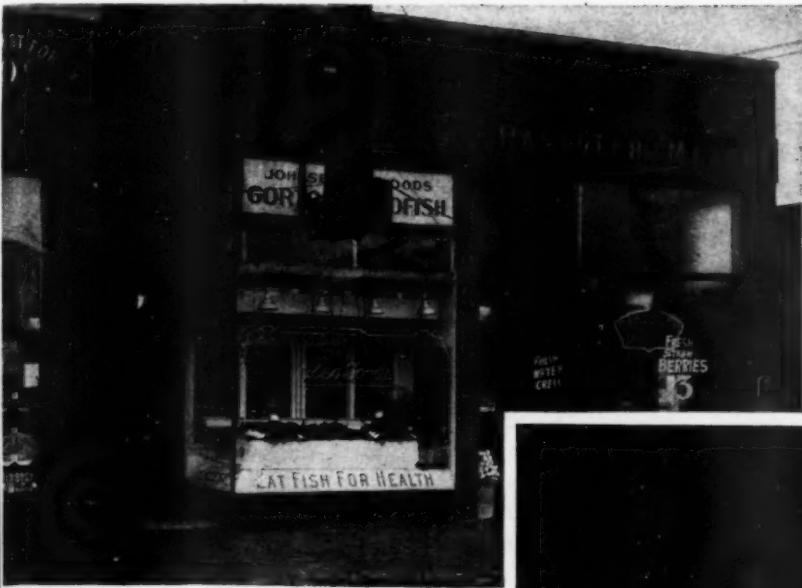
Among the many applications of plywood in this home are waterproof exterior Weldwood, plywood sheathing for sub-floors and ceilings, and Weldwood hardwood interior paneling.

Complete details of this and other winning designs are available upon request.



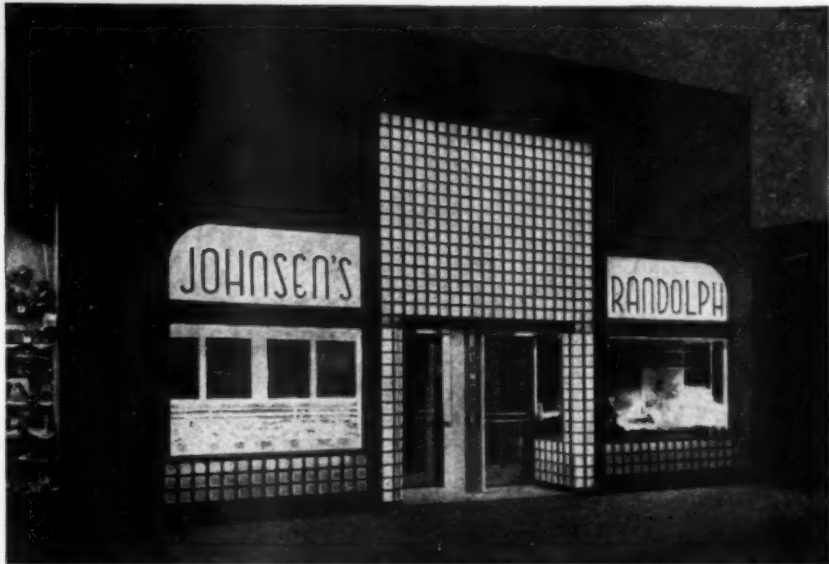
Plastics and Wood  
Welded for Good

Waterproof Weldwood, so marked, is bonded with phenol formaldehyde synthetic resin. Other types of water-resistant Weldwood are manufactured with extended urea resins and other approved bonding agents.

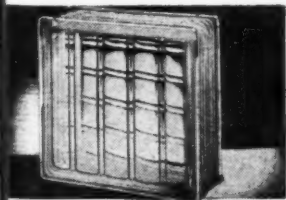


BEFORE REMODELING with Insulux. The proprietors of this grocery and market in Evanston, Illinois wanted to modernize their building. So—they consulted with the Palmer Personal Service Company, Designers.

AFTER REMODELING with Insulux. Note the attractive entrance way! Those panels of Insulux flood the salesrooms with light by day, and throw out a welcoming beam at night. They add cheerfulness and charm.



# Work like this is fun to handle — PROFITABLE, TOO!



Insulux Glass Block is a functional building material—not merely a decoration. It is designed to do certain things that other building materials cannot do. Investigate!

Why wait for the building boom? There's plenty of remodeling work to be had—right now—right in your own community.

For example—you might "dress-up" store fronts with Insulux Glass Block.

Insulux is available now. It is moderate in cost, easy to install, and it adds to the attractiveness of any building.

Panels of Insulux have many advantages. They transmit and diffuse light

better than ordinary windows yet provide privacy along with light.

Furthermore—panels of Insulux lock out dirt, dust and noise and—they're easy to clean and to keep clean.

Right now—panels of Insulux are being installed in hundreds of buildings throughout America. In stores, theaters, restaurants, factories and public buildings!

Mail coupon below for full information.

OWENS - ILLINOIS  
**INSULUX**  
GLASS BLOCK



THIS ATTRACTIVE, PRACTICAL  
AUTO-TYPE LOCK IS EXCLUSIVE  
EQUIPMENT ON THE NEW 1945

# Craw-Fir-Dor

SELF-ENERGIZING • ONE PIECE • OVERHEAD TYPE

## GARAGE DOOR

### PRE-FIT TO SIZE

One size only, pre-fit to standard 8 x 7 foot opening.

### ATTRACTIVE

Designed to blend with any type of architecture.

### STRONG

Made of durable Douglas fir—structurally strong!

### WEATHERPROOF

Panels are of Exterior plywood—the type used in PT boats!

### EASY TO INSTALL

Hardware 85% pre-assembled. Installed in less than 45 minutes!

To all other features offered by Craw-Fir-Dor—America's leading overhead-type garage door—add this attractive new auto-type lock. It's as dependable and easy-acting as the sturdy door itself. It's chrome-plated for beauty and long life. And it's exclusive equipment on every Craw-Fir-Dor now being planned for immediate production the moment war restrictions lifted. Specify Craw-Fir-Dor in your postwar jobs—and touch with your dealer, who will have Craw-Fir-Dor

The new Craw-Fir-Dor requires only 2" of headroom above the opening. Saves from 12½" to 16½" of sidewall construction all around.

## FIR DOOR INSTITUTE

Tacoma 2, Washington

Association of Fir Door Manufacturers

For more information, write: Crawford Door Company, Dept. of sectional overhead-type doors.





**INCLUDE *Crane Plumbing* IN YOUR PLANS!**

**M**ILLIONS of Americans are dreaming today of the homes they will build or buy tomorrow. And high on their list of requirements are bathrooms and kitchens—rooms designed and equipped to provide the utmost in beauty, comfort and convenience.

You can contribute greatly to such looked-for quality by including Crane plumbing in the plans you are developing to satisfy this vast market. Whether your plans are for cozy cottages or stately residences, Crane equipped

bathrooms and kitchens will enhance the value and increase acceptance for the homes you build. In the Crane line of tomorrow you'll find fixtures for every building budget . . . up-to-the-minute styling . . . plus the same high quality and sturdy reliability that have always meant long years of satisfactory service.

When conditions permit its manufacture, your plumbing contractor or nearest Crane Branch will be able to give you complete information on the Crane line of tomorrow.

**TYPICAL CRANE EQUIPMENT AVAILABLE NOW**

Oxford Bathtub

Yorkshire Lavatory

Hanover Closet

Cottage Sink

Typical Crane plumbing equipment available for today's construction. See your plumbing contractor.

**CRANE**

CRANE CO., GENERAL OFFICES:  
836 S. MICHIGAN AVE., CHICAGO 5

PLUMBING • HEATING • PUMPS  
VALVES • FITTINGS • PIPE

NATION-WIDE SERVICE THROUGH BRANCHES, WHOLESALERS, PLUMBING AND HEATING CONTRACTORS



## Standard 4' x 8' Panels of Douglas Fir Plywood create these Attractive Library Walls

Another of the many wall design treatments possible with durable Douglas fir plywood is illustrated in the drawing above—an attractive, modern library. In this treatment, panels are placed vertically.

In working out such a plywood wall treatment, always start at the openings with vertical joints and divide the plain wall spaces in an orderly pattern, as in detail A and C at the right. Vertical joints should be used at each side of top and bottom of windows and at top of door openings, as in A, B, C, D and G. If the width of the door or window opening is more than four feet, however, do not hesitate to

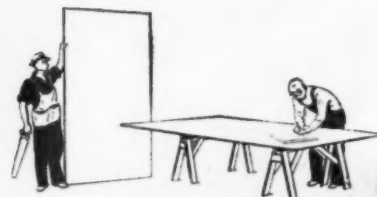
place panels horizontally as in E — for combinations may be used in the same room with pleasing effect.

Nine and ten foot lengths are available to assist in solving special problems, and many unusual patterns may be created by utilizing small panels. In such cases, sheathe with 5/16" or 3/8" Plyscord placed horizontally and apply the finish panels as desired.



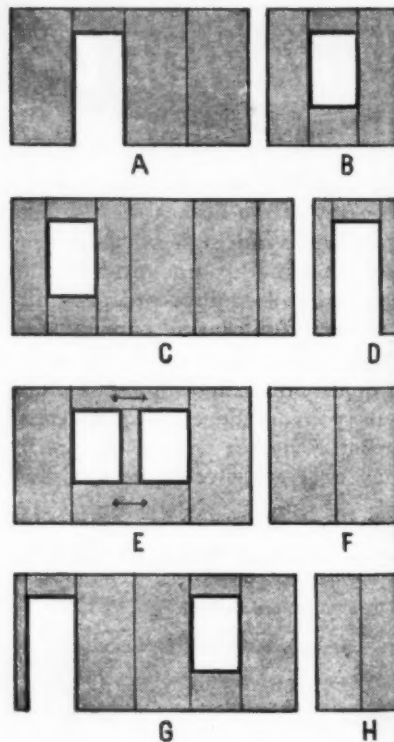
**DOUGLAS FIR PLYWOOD ASSOCIATION**

*Tacoma 2, Washington*



There are three grades of Douglas fir plywood panels made especially for various phases of wall construction. **PLYWALL** is made especially for standard wallboard use; **PLYPANEL** is a premium panel used for quality interior work; **PLYSCORD** is a utility panel made for wall and roof sheathing.

### Vertical Treatment of Panels For an Attractive Wall Design



### CAN PLYWOOD BE SPECIFIED NOW FOR POSTWAR USES?

The increased capacity of the industry will make **MORE** Douglas fir plywood available for civilian consumption **THAN EVER BEFORE**, as soon as the needs of the armed services lessen or war restrictions are lifted. There will be no reconversion delays; the same types and grades of Douglas fir plywood that are now being made can flow immediately into peace-time building and construction.

wi

A revolution is achieved in machine face a cumulative resultant ordinary structural laminations probably products

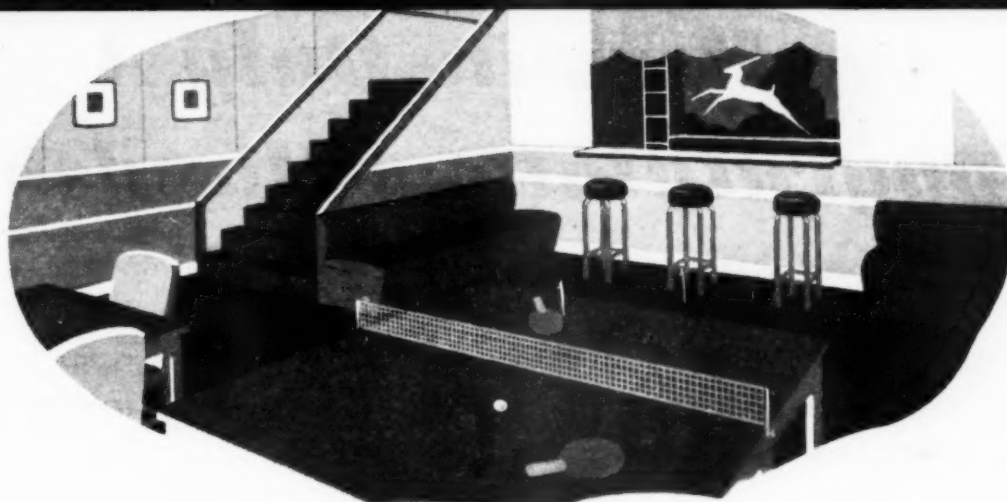
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Whether you design Bomb Boxes or Game Rooms . . .



## .....your product can be improved with a Kimpreg\* Surface

A revolutionary new alloy-like material is achieved by fusing to plywood's surface a cured plastic skin of KIMPREG. This resultant material is not a plywood in the ordinary sense, not a conventional plastic laminate. It is a brand new, better structural medium with countless applications in many products—including, very probably, those you plan for post-war production.

With KIMPREG, plywood is converted into an improved substance which can be machined, formed and fastened like ordinary wood—yet has a plastic's smooth, tough surface and beautiful, permanent, paintless finish.

KIMPREG adds the following advantages to plywood: 1) increases durability and flexural strength; 2) provides resistance to

moisture and vapor; 3) armor-plates against extreme abrasion; 4) diminishes grain-raising effects; 5) makes the material scuffproof, splinterproof, snag-resistant; 6) affords a stainproof, washable, "wipe clean" surface; 7) creates resistance to chemical action, decay, temperature-extremes, fire, vermin, and mold. Moreover, it is warm to the touch, does not have the chill "feel" of metal surfaces.

Today all KIMPREG is required for military needs, ranging from airborne "prefab" huts to glass-smooth tables for packing parachutes without snagging. Hence, the wartime color of KIMPREG is a soldierly olive-drab. Post-war, however, it will be offered in a variety of appealing hues.

Now is the time to investigate the possibilities of KIMPREG-surfaced materials for your peacetime requirements.

\*TRADE MARK

# Kimpreg

TRADE MARK

A PRODUCT OF  
**Kimberly  
Clark**  
RESEARCH

Send Coupon for FREE KIMPREG Book to:  
Kimberly-Clark Corporation, Neenah, Wis.

AB-745

Name

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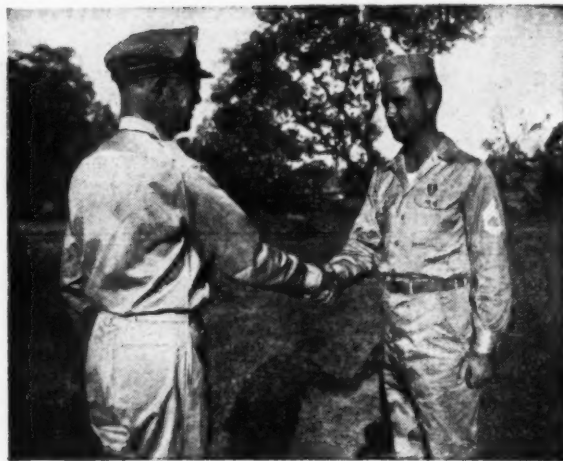
Type of Business

Address

City  State

Among the users of KIMPREG are: Buffelen Lumber & Manufacturing Company; Olympic Plywood Company; Washington Veneer Company; and The Wheeler, Osgood Company; all of whom are currently producing a Douglas Fir Plywood surfaced with KIMPREG. This product is sold under the trade name of Inderon.





## ***The Pace of Victory Permits Only A Congratulatory Handshake!***

American Industry well merits a decoration for its brilliant record in the Mighty 7th! But, as our newly decorated Pacific heroes quickly return to combat, so industrial leaders aren't resting on their laurels. **Back into Bond action**—they are now busy consolidating recent Payroll Savings Plan gains!

**First**, many executives are now patriotically working to retain the substantial number of new names recently enrolled during the 7th War Loan. By selective resolicitation, they are urging all new subscribers to maintain Bond buying allotments.

**Second**, many are also employing selective resolicitation to urge every worker who increased his or her subscription in the 7th to continue on this wise, saving-more-for-the-future basis.

Help to curb inflationary pressures and harvest peacetime prosperity by holding the number of Payroll Savings Plan subscribers—and amounts of individual subscriptions—to the mark set in the Mighty 7th!

*The Treasury Department acknowledges with appreciation the publication of this message by*



*A Simmons-Boardman Publication*

**New!** No Other Window Like It in the Market



# THE Mesker "AMERICAN HOME WINDOW"



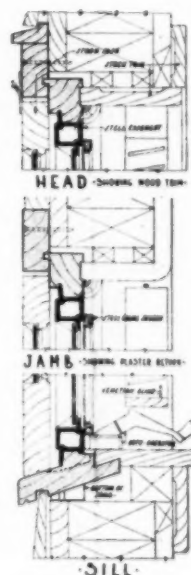
... has all the features required by builders and home owners. You, the builder, will want this casement because it means *savings* to you in installation costs. For the "American Home Window" can be installed in a *jiffy* with only hammer and nails. No sash to fit, no weights, pulleys or balances to install, no weatherstripping. Inside wood trim is optional. The window can be delivered to the job already assembled, or knocked down. Glazed if desired.

Most important, the Mesker "American Home Window" stops WINTER SWEATING, for it accommodates outside, low cost, stock storm sash. And, in addition to the many other modern advantages of Mesker Steel Windows, venetian blinds can be installed within the window reveal.

Your homes will be *easier to sell, cheaper to build* if you equip them with the Mesker "American Home Window"... to be available as soon as peacetime manufacturing is resumed. For more information use the coupon.

## INSTALLATION WITH STOCK STORM SASH

Shown at the right is an actual installation detail of the Mesker "American Home Window". The shaded portion is the wood frame that is nailed to the sheathing, and is so built that it accommodates stock wood storm sash. Notice the extra space available for venetian blinds on the inside.



**Mesker**  
**STEEL WINDOWS**

## COUPON

Mesker Brothers, Dept. AB 75  
430 S. Seventh St., St. Louis 2, Mo.

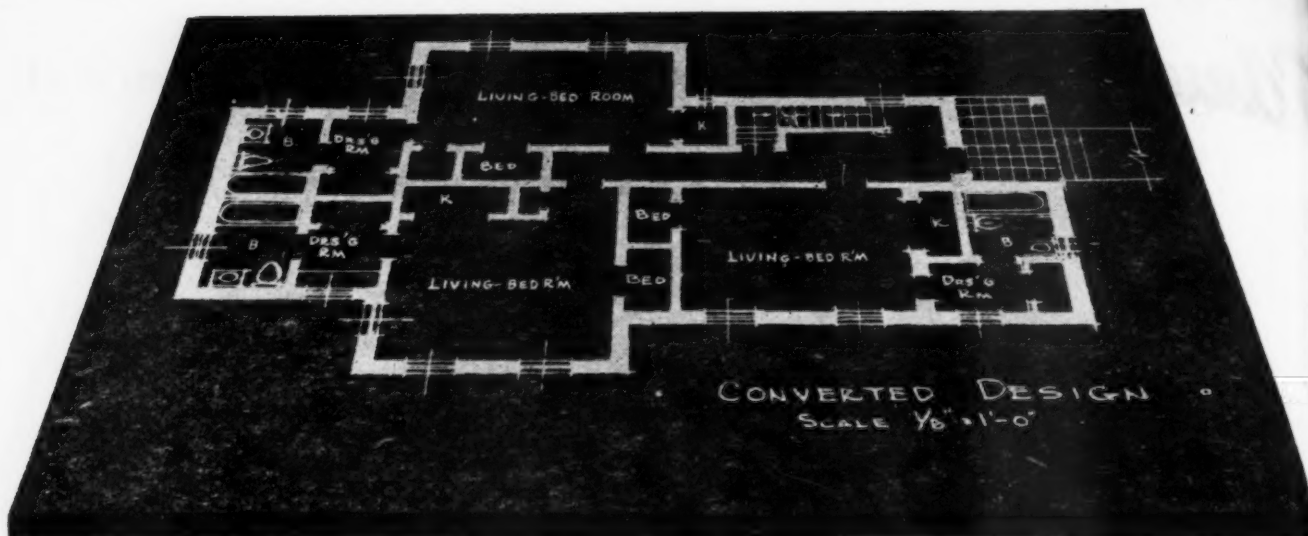
Please send me information about the Mesker "American Home" Window.

Name \_\_\_\_\_

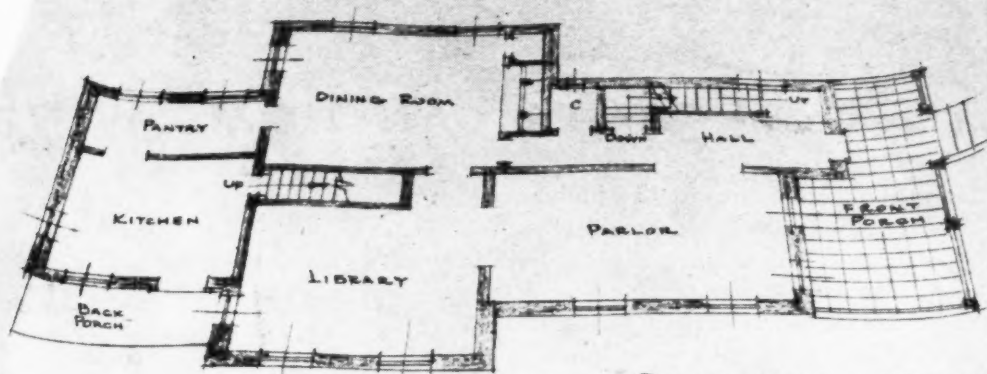
Address \_\_\_\_\_

City and State \_\_\_\_\_

MESKER BROTHERS • 430 SOUTH 7TH ST. • SAINT LOUIS 2, MO.



## Making little ones out of big ones is good business



Judicious remodeling has made many a big white elephant of a house a real income producer.

The advantages of small, modern, efficient units count double when your clients consider rent income, the needs of returning service men, and the relentlessly growing housing shortage.

In remodeling—as in new construction—the slogan, "make every inch count," pays out all around. That's where the Masonite\* Presdwoods can help you in many ways.

These hard, smooth, grainless boards allow you great latitude in design and decorative effects—natural or painted. For durable dry walls, ceilings, partitions, built-in cabinets

and work surfaces—you'll find them useful in bathroom and kitchen as well as in living-bedroom combinations.

The Presdwoods go up easily and quickly over old construction—simplify new construction or alteration work immensely. They come both smooth and tile-patterned. For complete data on all the Masonite building products, write to Masonite Corporation, Dept. AB-7, 111 West Washington Street, Chicago 2, Illinois.

"Masonite" is a trade-mark registered in the U. S. Pat. Off., and signifies that Masonite Corporation is the source of the product.

# MASONITE

## BRAND PRODUCTS



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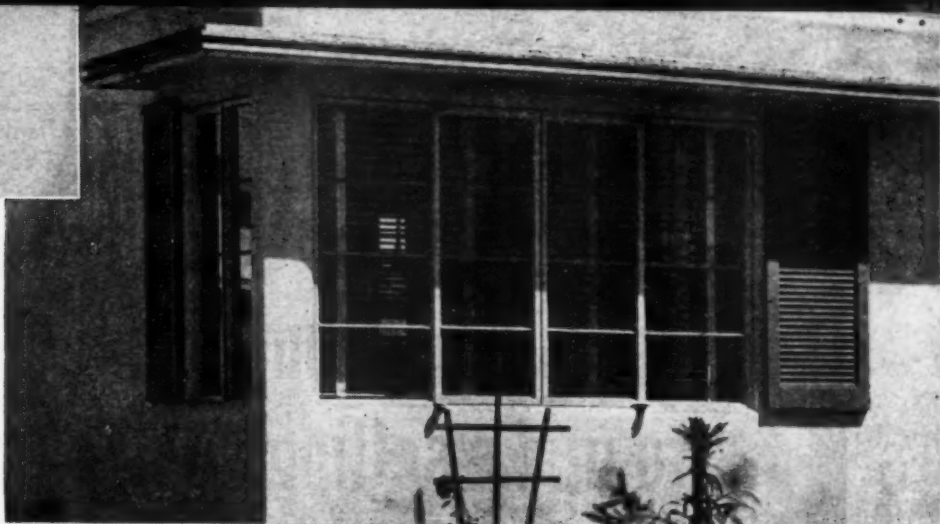
Engineer  
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roof deck.

NGIN



## WHAT WINDOW COSTS THE LEAST?

EL! In steel casements the initial cost is the *final* cost. In other windows there are hidden costs you are likely to overlook—hardware, accessories, additional labor costs, etc. So save on window costs... specify Ceco Steel casements!



## SS WHAT WINDOW ADMITS THE MOST LIGHT?

EL, as you know! Slender frames and muntins permit 30% more glass area. Steel casements flood homes with light and fresh air... completely condensation-free. For Cape Cod, or Modern, or Colonial, steel windows give more light and ventilation!



## WHAT WINDOW COSTS THE LEAST TO INSTALL?

m an

EL. For Ceco Steel windows come most completely assembled. Just need hanging and painting. And steel windows are easy to install, too. So always specify Ceco steel for homes, large or small.



Engineering Division: Meyer Steel forms, adjustable shores and reinforcing bars, fabric, etc. Manufacturing Division: steel windows, doors, metal lath, metal weatherstrip, metal frame screens, steel joists, roof deck. Highway Products Division. Sheet Steel and Wire Division.

**CECO STEEL PRODUCTS CORPORATION**

*Manufacturing Division—5701 W. 26th St., Chicago, Ill.*

**ENGINEERING** MAKES THE BIG DIFFERENCE IN **CECO** CONSTRUCTION PRODUCTS

Good Buildings Deserve Good Hardware



Announcing important developments  
to make selling good hardware easier  
installation simpler... profits larger

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- 3.



**P.&F. Corbin**

THE AMERICAN HARDWARE CORPORATION, SUCCESSOR  
New Britain, Conn.  
since 1849



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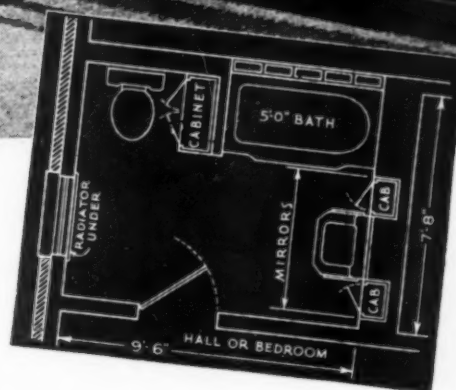
PLUMB



## Accenting the practical in new bathrooms

In modern bathrooms, the skill of the Builder can be apparent to the most inexperienced home owner. Practical, convenient arrangement of facilities; ingenuity in providing ample storage space; beauty, dignity and harmonious design in fixtures and fittings specified—all these are easily recognizable.

Kohler fixtures and fittings fulfill all requirements for first quality: the fixtures with their sound, rigid construction, permanently lustrous, easy-to-clean surfaces, and appropriately matched designs; the fittings with their sureness and ease of performance, and reliability of all working parts.



The arrangement above includes the new Kohler Gramercy lavatory with built-in fittings and roomy shelf back; the Cosmopolitan recess bench bath, with shower controlled by the efficient Triton mixer; and the quiet, smooth-acting Wellworth close-coupled closet. Quality control of Kohler products is assured by unity of supervision and complete manufacture in one plant—backed by 72 years' experience. If you don't have Catalog K-41, write Kohler Co., Dept. AB-7, Kohler, Wis.

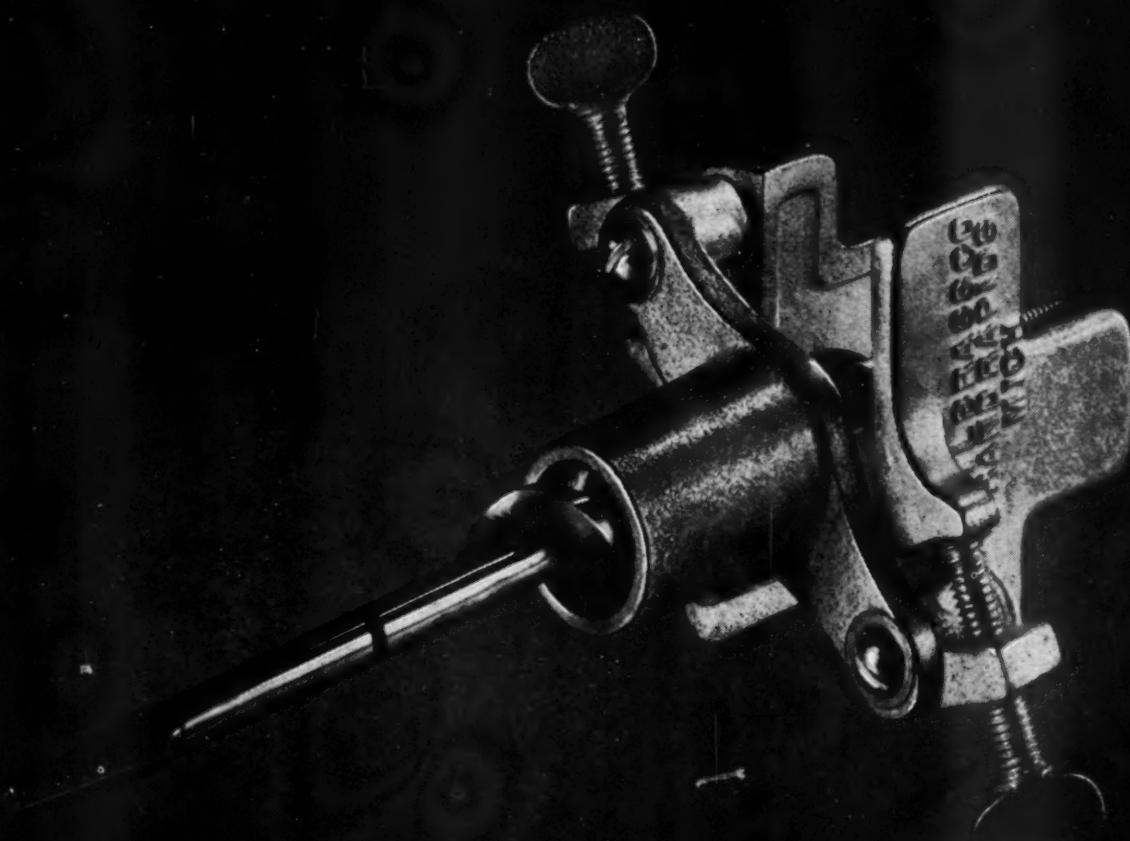


# KOHLER OF KOHLER

Buy and Keep  
U. S.  
War Bonds

PLUMBING FIXTURES AND FITTINGS • HEATING EQUIPMENT • ELECTRIC PLANTS





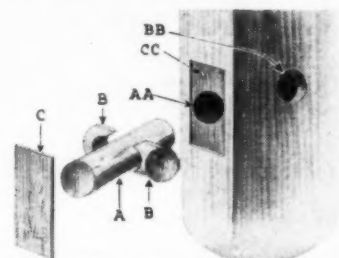
*Catalog No. 1199 BIT GUIDE SET. Furnished complete with 15/16" Bit and Rose and Escutcheon Guide.*

Here is a tool you should know about. It is called the Dexter Bit Guide. Using this tool, your carpenter can install Dexter-Tubular Locks and Latches in about one-third the time it takes to install mortise locks. Figure how much this will mean on the average house you build and that is the amount you will save when you specify Dexter hardware. It isn't the cost of the hardware alone that counts, but the over-all cost of the hardware installed.

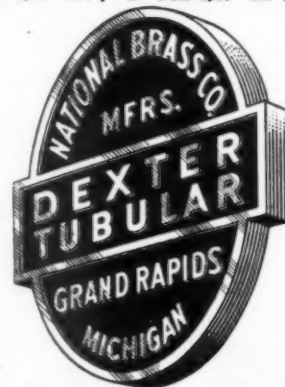
Invite the Dexter hardware dealer in your community to demonstrate this feature of the Dexter-Tubular line. He will, at your invitation, show this time-saving, money-saving Bit Guide to you — lend it to you, if you like. He will be glad to demonstrate it, using any handy piece of 2" x 4". The merits of the Dexter-Tubular installation can be quickly seen and appreciated. Visit your dealer today and ask him to give you complete information.

**NATIONAL BRASS COMPANY, Mfrs.**  
**Grand Rapids, Michigan**

**MAKERS OF BUILDERS, CABINET, SCREEN DOOR AND SHELF HARDWARE**



**INSTALLATION.** Composite shape and form of wood removed in preparing the door for installation. "A" represents wood removed from spot "AA", "B" from spot "BB", etc.



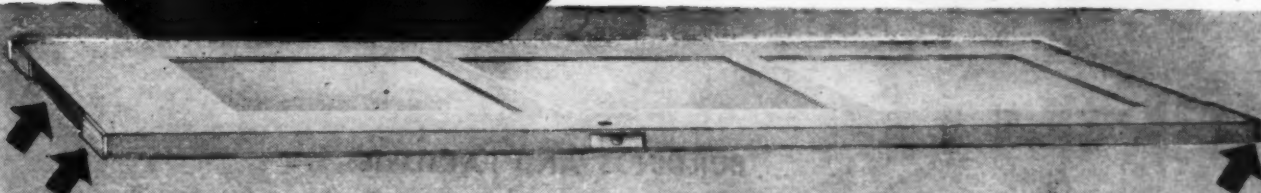
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## Standard Specifications for Douglas Fir

# FACTRI-FIT DOORS

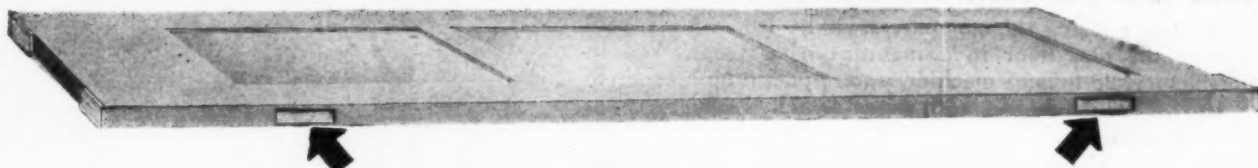
- ★ Precision-made to standard specifications.
- ★ Prefit . . . scuff-stripped . . . grade-marked.
- ★ Basic 3-panel designs adaptable to every job.
- ★ Available today for essential building.
- ★ Available for ALL jobs the moment war restrictions are lifted.



**FACTRI-FIT sizes:** Doors prefit to exact net book standard stock sizes listed in the U. S. Commercial Standard 73-43. This means

for instance that a 2'8" x 6'8" Factri-Fit door is furnished exactly the specified width and length. Factri-Fit doors are scuff-stripped

for protection. Grade-marked for easy identification. Included in the line are basic 3-panel layouts, adaptable to all types of building.



**FACTRI-FIT Gaining:** 7" from top of door, 11" from bottom. Standard butt on 1 3/8 doors is 3 1/2 x 3 1/2"

—on 1 3/4" doors, 4" x 4", square corners. Center gaining, recommended for heavy construction, is equi-distance between other

two. In routing, lips are left on to be knocked out by carpenter for right or left hand swing.



**FACTRI-FIT lock Bore.** All boring for locks to center knob 38" from bottom of door. Machining specifications that will be standard for all completely-machined Factri-Fit doors unless other specified:

Diameter of bore-in, 15/16"; length of bore-in, 3 3/4" from edge; face plate, 1" x 2 1/4 x 1/16", square shape; cross bore, 5/8" diameter on 2 3/8" center. Virtually all nationally-distributed

bored-in type locks will fit these specifications. Trend today is to bored-in locks. Doors can be ordered mortised, or machined to other specifications, on special order.

Send for Catalog

Shows complete line of Douglas fir interior doors, Tru-Fit entrance doors, and new specialty items. Sent free to any point within the United States.



## Douglas Fir DOORS

**FIR DOOR INSTITUTE**

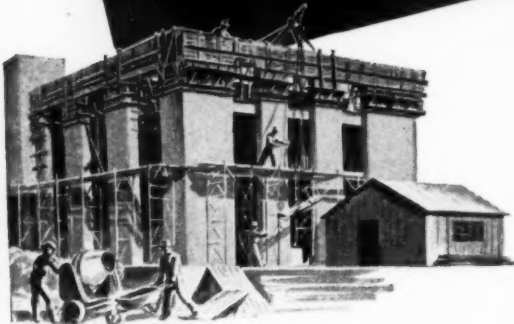
Tacoma 2, Washington

Remember!  
NATURE MAKES  
DOUGLAS FIR  
Durable!

Durable Douglas Fir Doors are made from all-heart-wood, vertical-grain, soft, old-growth Douglas Fir.

THE NATIONAL ASSOCIATION OF FIR DOOR MANUFACTURERS

# RECONVERSION Calls for SPEED



And more speed means more profit for builder and owner alike. Whether your reconversion plans call for a new building or an addition . . . alterations or repairs . . . big job or small, use Lehigh Early Strength Cement.

## BUILDINGS AND FACTORIES

\$1200 was saved and 66 days gained on a new building by the use of Lehigh Early Strength Cement . . . and the tenant paid a bonus for earlier occupancy. On a factory job, the forms were stripped from the face of the building in 5 days instead of 21 days.

## REPAIRS AND ALTERATIONS

20 hours after pouring the concrete, 1,500-lb. iron wheels were rolled over the new floor in a manufacturing plant. And in another factory, 23 tons of machinery were placed on a concrete base only 24 hours old. In both cases Lehigh Early Strength Cement was used.

There are many places on highways and bridges and on other jobs, too, where its use will save money and time.

## HIGHWAYS AND BRIDGES

A \$500 per day penalty was avoided in the construction of a tunnel for a highway by using Lehigh Early Strength Cement. On a bridge job, this time-saving cement made possible the driving of concrete piles in 7 days instead of a month.



## SIDEWALKS AND STREETS

Less than 12 hours from the time Lehigh Early Strength Cement was poured on a busy sidewalk, pedestrians were using it. And in another city, this time-saving cement made street intersections ready for traffic in 24 hours.

This fast-curing, quick-service cement means profit anyway you look at it.

Our Service Department will gladly work with you in planning the most economical way to use Lehigh Early Strength Cement.

LEHIGH EARLY STRENGTH CEMENT  
LEHIGH AIR ENTRAINING CEMENT  
LEHIGH MORTAR CEMENT  
LEHIGH NORMAL CEMENT

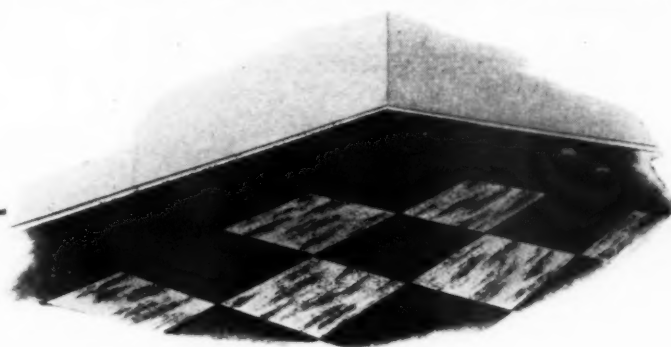
Lehigh  
CEMENT

LEHIGH PORTLAND CEMENT COMPANY • ALLENTOWN, PA. • CHICAGO, ILL. • SPOKANE, WASH.



# Have You these Wrong Ideas about Floors?

In the average room the floor represents about one-fifth of the room's surface area. It is almost the only surface to receive wear and certainly receives the most dirt. And it affects your comfort more than any other surface. Yet many people—even architects and builders—have some very wrong ideas about floors. Do you, too, believe some of these wrong notions? Check yourself below. Then, if you would like to know *all* the advantages of MODERN floors—send for the interesting, colorful fact-book about Kentile floors—sent without obligation. Consult your local flooring dealer or write David E. Kennedy, Inc., 61 Second Avenue, Brooklyn 15, N. Y.



FALSE: *The thicker a floor, the longer it will wear.*

TRUTH: Where traffic is heaviest (corridors, stores, etc.)  $\frac{1}{8}$ " Kentile will outwear very much thicker material by many, many years because of its superior resistance to abrasion and because it is of equal durability through its *entire* thickness (whereas other apparently thicker materials often include much non-durable "backing").

FALSE: *The harder a floor the longer it will wear.*

TRUTH: Kentile will wear longer *because* it is resilient. It "yields" to impact instead of abrading under traffic. In some cases quiet and comfortable Kentile has outworn marble in busy entrance halls.

FALSE: *The adhesive used should set "good and hard".*

TRUTH: Strange as it seems, the adhesive used under Kentile never hardens. Pick up the tile ten years later and the adhesive is still "tacky". This "sub-resilience" is another reason for Kentile's comfort and durability.

FALSE: *Some floors are slippery.*

TRUTH: No ordinary floor coverings are slippery by themselves. It is the wax used on them that sometimes causes slipperiness. Kentile can look good and wear indefinitely without waxing. It can be kept clean by simple mopping. Of course waxing refreshes its fine appearance but it requires only a *thin* coat and because the wax merges with the invisible granulation of the surface it need never be slippery.

FALSE: *Before decorating one should learn what colors and patterns are available for the floor, so that the walls and accessories can harmonize.*

TRUTH: Except when war restrictions prevent, Kentile is made in 44 colors, each available in 15 sizes plus 8 feature strip widths. Pattern and color combination possibilities are so unlimited there are hundreds to go with any color scheme.

FALSE: *Tile-set floors have dirt-catching seams.*

TRUTH: Kentile is cut so micromatically sharp and square the tiles are seal-set against each other, creating an absolutely *solid* germ-proof surface.

FALSE: *You can't install any floor on concrete that is in contact with earth or below-grade.*

TRUTH: Kentile is so moisture and alkali resistant it can be laid right on such concrete with absolute safety.

FALSE: *If grease falls in the room you can't use asphalt tile.*

TRUTH: Seventeen Kentile colors (fewer during war time) are also made in Greaseproof Kentile and can be used in combination with standard Kentile wherever greases fall. The cost is only a few cents more; it is still one of the lowest price floors you can buy.

FALSE: *If a floor is inexpensive the colors will "wear off".*

TRUTH: Kentile's pure, bright, non-fading colors go right through to the back—can't "wear off".

# We Want \* Modern Kitchens

Say American Housewives  
in Nationwide Survey

TYPICAL HOTPOINT ELECTRIC KITCHEN  
FOR A \$8,500 HOME

RECOMMENDED EQUIPMENT		
ITEM	QTY.	DESCRIPTION
1	1	RANGE
2	1	REFRIGERATOR
3	1	DISHWASHER-SINK
4	1	DISHWASHER
5	1	DISPOSALL
6	1	CABINET SINK
7	1	SINK CABINET
8	1	BASE CABINET
9	1	" " " "
10	1	" " " "
11	1	" " " "
12	1	" " " "
13	1	COR. BASE CABINET
14	1	UTILITY CABINET
15	2	WALL CABINET
16	4	" " " "
17	1	" " " "
18	1	" " " "
19	1	" " " "
20	1	COR. WALL CABINET
21	1	" " " "

**Hotpoint KITCHEN PLANNING SERVICE**  
COMMERCIAL ENGINEERING DIVISION  
DRAWN *by the architect*  
APPROVED *Paul J. ...*  
DWG. NO. AKL 4579 DATE 2-16-45  
EDISON GENERAL ELECTRIC APPLIANCE CO., INC.  
CHICAGO, ILLINOIS

## 77% of the Postwar Home Buyers are Electric Kitchen Prospects!

"More than seven out of ten postwar homes will cost \$3,000 or over" predicts the United States Chamber of Commerce. That price range makes the planned, all-electric kitchen both probable and possible.

\* *IN a survey of urban homes in all income brackets, the Curtis Publishing Company found the first postwar desire of home owners, next to painting and decorating, was for a modern kitchen. Chances are these home owners are already in step with Hotpoint's advertising campaign that urges the purchase of war bonds now for postwar building.*

### Take Advantage of This Powerful Advertising

Here is some of the power that is increasing the desire for modern, electric kitchens:

1. Over a million and a half dollars have

been spent by Hotpoint in national advertising during the war to promote the trend to all-electric kitchens.

2. Scores of articles in leading magazines and newspapers have focused on the modern kitchen as the No. 1 room in the postwar home.
3. Nearly two million booklets "Your Next Kitchen" by Hotpoint, have been ordered.
4. Leading utility companies and dealers have promoted electric kitchens in their communities.

Thus has the popular desire for modern kitchens been created for you. Reach out and take your share of home building and modernization by capitalizing on the popularity of the modern kitchen.

### Write Immediately

Write today for details of the "Hotpoint Kitchen Planning Service." Hotpoint expert staff of kitchen designers will help you take advantage of this profitable market.

Edison General Electric Appliance Co., Inc.  
5641 West Taylor Street, Chicago 44, Ill.

**Dependability Assured  
by 40 Years of Experience!**

#### HOTPOINT REGIONAL SALES OFFICES

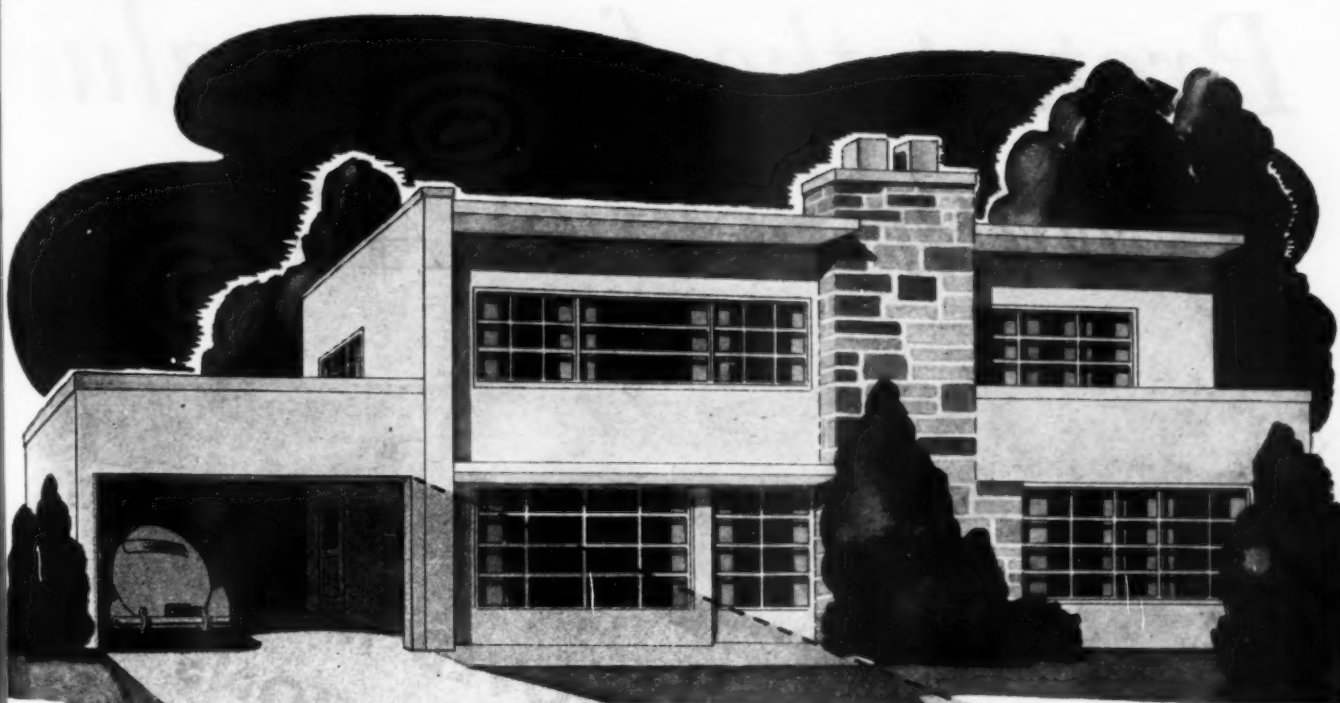
**EASTERN:** 570 Lexington Ave., New York City 22, Plaza 3-9333. **SOUTHERN:** 304 Red Rock Bldg., Atlanta 3, Walnut 2959. **CENTRAL:** 1456 Merchandise Mart, Chicago 54, Superior 1174. **WESTERN:** Western Merchandise Mart, 1355 Market St., San Francisco 3, Underhill 2727.

# Hotpoint

## ELECTRIC KITCHENS

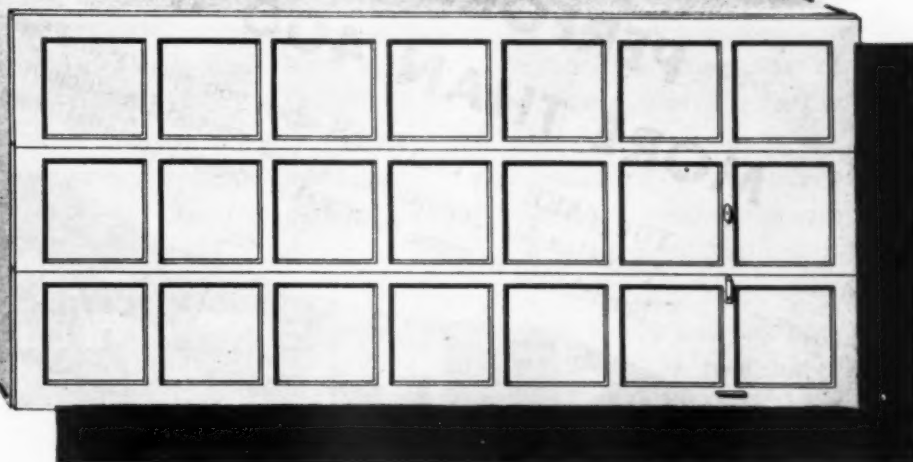
REFRIGERATORS • RANGES • WATER HEATERS • HOME FREEZERS • WASHERS AND IRONERS  
CLOTHES DRYERS • DISHWASHERS • GARBAGE DISPOSALS • CABINET-SINK • STEEL CABINETS

IN MOST STATES ALL HOTPOINT KITCHEN EQUIPMENT CAN BE INCLUDED IN F.H.A. INSURED MORTGAGE



Illustrated below is the Crawford Junior Door Model TC, for a two-car garage. Although double width, it is so scientifically counterbalanced that it glides up and down at a touch of the fingers. This design is much favored by those who prefer all-wood panels

HERE'S OUR SLANT



## ON MODERN GARAGE DOORS

## FOR THE MODERN HOME

Next time you're working on a home in the "modern" manner—with the accent on those many conveniences which contribute so much to easy and pleasant living—consider how this modern Crawford Door facilitates the use of the garage and, incidentally, enhances the feeling of unified design in the entire front.

It is a handsome door. The design is strong, simple, effective. It combines particularly well with the newer architectural motifs. It is a sturdy door—built to stand up, and it will not rack the door frame. It is engineered for finger-tip ease of operation, and because it glides up and completely into the garage, it is unaffected by wind, rain or snow.

This is one of the many types of Crawford Up-ward-Acting Doors which have become so familiar to home-owners, architects and builders during the past 15 years.

As an indication of public interest in garages and doors, it may interest you to know that more than 10,000 people have written for copies of Crawford's book, "How to Plan Your Garage." Crawford Door Company, 401 St. Jean Ave., Detroit 15, Mich.

# Crawford

UPWARD - ACTING

Residential Garage Doors  
Commercial & Industrial Doors  
Hand or Power Operated Doors  
★ Crawford Fir Doors ★



# *Protect the future value of with Servel All-Year*

An aerial photograph of a densely packed residential neighborhood, likely from the mid-20th century. The houses are mostly single-story or two-story structures with gabled roofs, some featuring dormers. The houses are closely spaced, with some trees and lawns visible between them. The overall scene depicts a typical suburban or urban housing development of that era.

**PERFORMANCE PROVED IN  
MORE THAN 400 INSTALLATIONS**

YOU TAKE NO CHANCES when you specify and install the Servel All-Year Gas Air Conditioner. It has proved its efficiency, economy and dependability in more than 400 successful installations from coast to coast.

# e of your post-war homes r Gas Air Conditioning

**It keeps homes "modern" longer,  
financing agents agree**

You can make sure your post-war homes maintain a high re-sale value for many years by installing Servel *All-Year* Gas Air Conditioning.

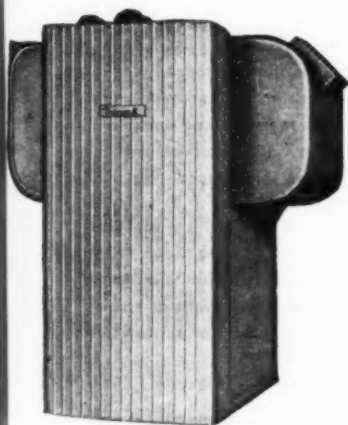
Financing agents state that homes so equipped will stay "modern" longer. They agree that the Servel Air Conditioner increases the value of any home far more than any other new idea that may be developed. For this reason, you'll find most banks, building and loan organizations, etc., prepared to extend larger loans, offer better terms, on homes containing this new Servel equipment.

In addition to paying dividends in increased investment value, Servel *All-Year* Gas Air Conditioning provides home-owners with an entirely new quality of living the year round. It keeps homes delightfully cool and free from humidity during the summer. And in winter it provides clean, even heat, comfortably humidified. A touch of the finger is all that is required

to select just the climate desired indoors, no matter what the weather outside.

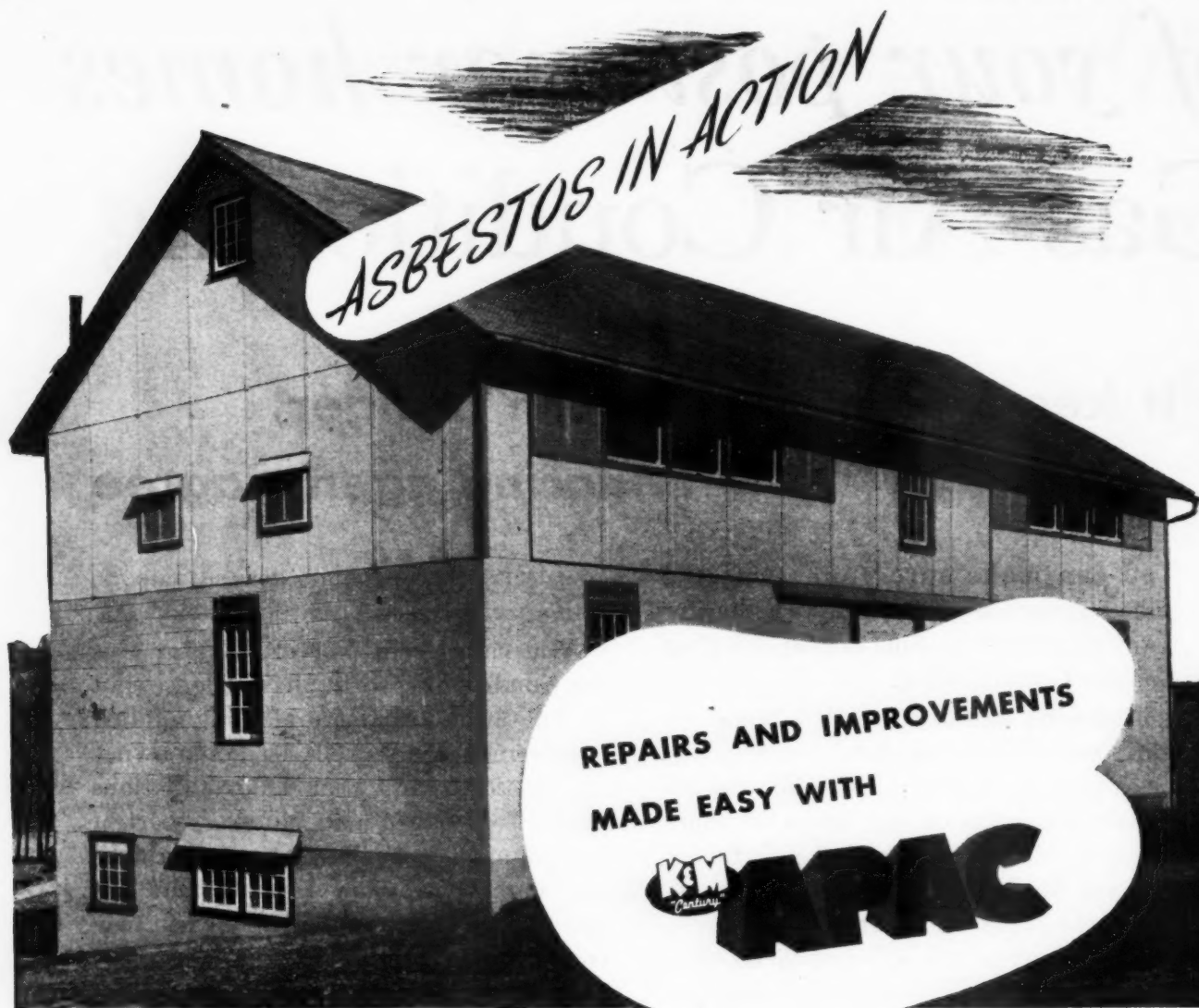
You can specify Servel *All-Year* Gas Air Conditioning with full confidence that it will meet architectural and building requirements, as well as home-owner expectations. More than 400 installations have already been made, in every part of the country. Some have been operating for more than four years. Owners are unanimously enthusiastic about the new comfort, the convenience, economy and dependability of this new Servel summer-winter unit.

Find out today how easily and inexpensively you can protect the future value of your post-war homes with Servel *All-Year* Gas Air Conditioning. Get full technical details and complete installation data from the trained application engineer at your local Gas Company. Or write direct to Servel, Inc., 1507 Morton St., Evansville 20, Indiana.



## SERVEL *All-Year* Gas Air Conditioner

SUMMER COOLING • WINTER HEATING • IN ONE SIMPLE UNIT  
MADE BY THE MAKER OF THE SERVEL GAS REFRIGERATOR



No matter how old the barn, house or shop, you can quickly repair or improve it with this all-purpose asbestos sheet material. It is easy to handle . . . easy to apply . . . amazingly adaptable. "Century" APAC is cut by scoring one side with any sharp pointed tool—then simply snapping it. It is easily fastened too—with nails or screws.



**FARMERS** need "Century" APAC today for roofs and sidewalls on all kinds of farm structures—barns, hen houses, cattle sheds, dairies.



**HOME OWNERS** find APAC ideal as porch skirting, for interior walls in place of plaster and lath, for ceilings and partitions in attics and basements, and for wainscoting and table tops.



**INDUSTRY** uses "Century" APAC as office panelling, fire-resistant sheathing in machine shops, stock rooms and storage bins, as lining for elevator casings and shower stalls.

Contractors find "Century" Pre-Drilled APAC saves time, especially when operating with smaller crews. This material comes with nail holes already drilled and spaced correctly for application. It costs only a little more than standard "Century" APAC.

*Nature made Asbestos . . .* Keasbey & Mattison has been making it serve mankind since 1873.



#### FEATURES OF "Century" APAC

- Made of Asbestos Fibre and Portland Cement
- Pleasing light gray color
- Fire resistant and durable
- Convenient size—4' x 8'
- Three thicknesses— $\frac{3}{16}$ ",  $\frac{1}{4}$ " and  $\frac{3}{8}$ "
- Low cost
- Rat and termite proof
- Easy to cut, handle and apply
- Fastens with nails or screws
- Practically no maintenance required
- Prompt delivery

**KEASBEY & MATTISON**  
COMPANY • AMBLER • PENNSYLVANIA

Original manufacturers of Asbestos-cement Roofing Shingles in this country

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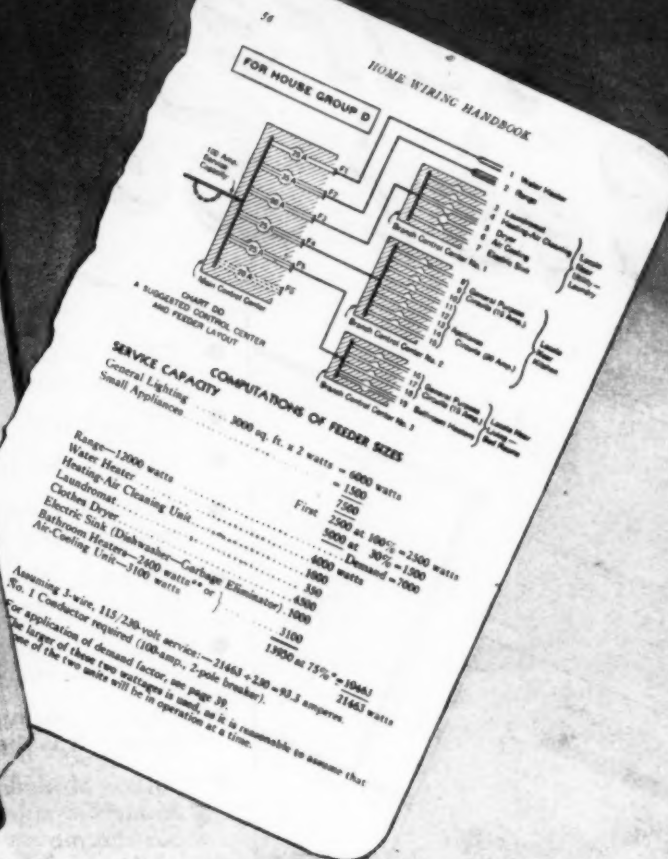
WHAT PEOPLE  
REALLY WANT IS

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*Home Wiring*  
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THIS NEW BOOK MAKES IT EASY TO  
DETERMINE ELECTRICAL LIVING NEEDS FOR  
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# BRIXMENT MORTAR

## *Is More Plastic*



*To compare the plasticity of any two mortars, try shoving a brick into place, with a full head*

*joint. The more plastic the mortar, the easier the work. Try this with Brixment mortar!*

### **AND GOOD PLASTICITY**

### **IS THE FIRST REQUIREMENT OF GOOD MORTAR**

One of the most important characteristics any mortar can possess is *plasticity*. Within certain limits, plasticity is the greatest single factor not only in the *economy* of the brickwork, but also in its strength, its neatness, and its resistance to the passage of water.

One of the outstanding characteristics of Brixment mortar is its unusual plasticity. For twenty-five years, brick-

layers all over the United States have agreed that the workability of Brixment is comparable to that of straight lime putty. This exceptional plasticity makes it easy for the bricklayer to secure neat, economical brickwork, with the brick properly bedded, and the joints well filled. And because of this unusual plasticity, a bag of Brixment will carry three full cubic feet of sand and still make an ideally workable mortar.

**LOUISVILLE CEMENT CO., Incorporated, LOUISVILLE 2, KENTUCKY**  
**CEMENT MANUFACTURERS SINCE 1830**



MAKE A COMPARISON

*Berry*

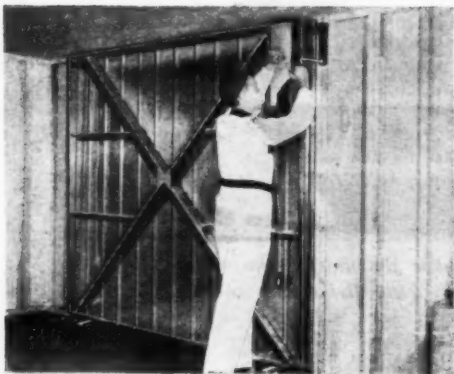
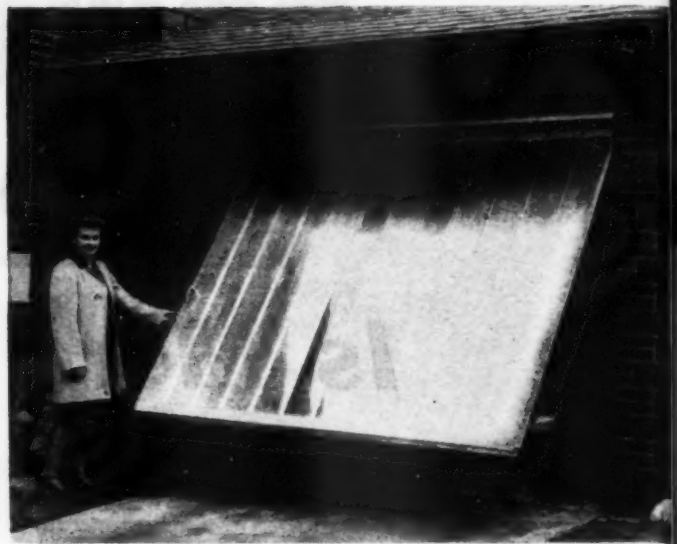
VS.

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OVERHEAD TYPE

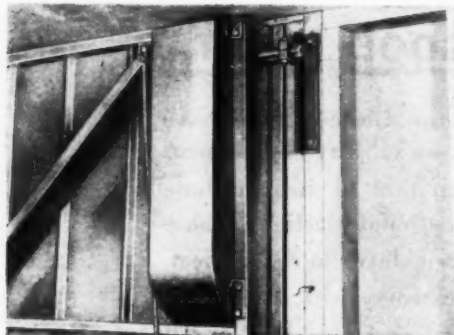
**GARAGE DOORS**

**What Other Overhead Type Garage Door Can Offer The Builder All These Features?**



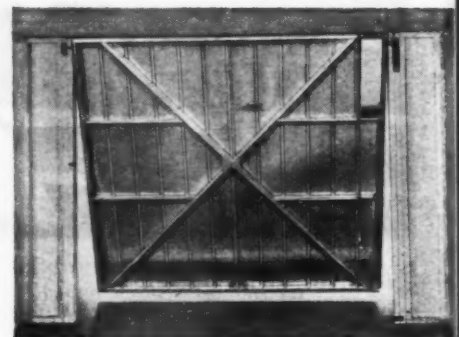
#### **FASTER INSTALLATION**

The Berry Door is the quickest and easiest door on the market to install. All operating hardware is attached. To install—center door in opening—fasten two hanging brackets to jamb with four lag screws—attach lock, striker plate and weather strips and the job is done.



#### **NO SERVICING REQUIRED**

The compact unit sealed in oil mounted on the door at the factory contains all the operating mechanism. There are no exposed springs to break—no tracks to jump—no weights to fall. The Berry Door requires no servicing or lubrication and will give a lifetime of trouble-free operation.



#### **LOWER HEADROOM**

As the Berry Door can be hung from the header it requires no headroom or space for trackage—a desirable feature where the garage ceiling is flush with the header, as in basement garages or those with a second story.

#### **LIGHT WEIGHT**

Built entirely of a new durable aluminum, the Berry Door is one of the lightest, yet strongest, garage doors on the market. Combined with the latest aircraft design and the exclusive Berry Counterbalancing mechanism, these features insure lifetime finger-tip operation.

#### **LOW PRICE**

The Berry, aluminum overhead type garage door is low in price. Its high quality makes it an exceptional value. Its simple installation enables the builder to install this aluminum, overhead type, door in garages within the most modest building budget.



*Specialists for Years*

IN GARAGE DOOR ENGINEERING

**BERRY DOOR COMPANY**

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# Builders' News Review

Latest Washington developments—News of the National Association of Home Builders and Local Associations



## NAHB Adopts Land Institute Slum Clearance Principles

IN regular session assembled, NAHB's executive committee has adopted the set of 14 principles suggested by the Urban Land Institute for State Urban Redeveloping Enabling Acts, aimed at an intelligent handling of slum and blighted areas. In the belief that these 14 points will be of interest to builders and other interested citizens, *American Builder* reprints them below. Point 7 was changed somewhat by the NAHB group before adoption; both versions are given.

### Principles Suggested by Urban Land Institute

1. **Land Acquisition Agency**  
For the assembly and disposal of property involved in urban redevelopment projects, the local government should be required to create an Urban Redevelopment Agency comprised of three to five representative citizens. The Agency would be an arm of the local government and responsible to it. It should be set up as a corporate body with wide powers to purchase, clear and dispose of land, but under the control of the local legislative body.

### 2. Comprehensive Plan

The areas selected for redevelopment as well as the detailed plan of redevelopment should be in accordance with the Comprehensive Plan of the municipal area. If no such plan exists, the Planning Commission should be required to make one. The basic standards for redevelopment such as density, coverage, and heights, shall be established by the Planning Commission with approval of the local legislative body and with the collaboration of the Redevelopment Agency.

### 3. Designation of Areas to be Redeveloped

The designation of a slum or blighted area to be redeveloped should be made by vote of the local legislative body after consideration of the recommendation of the Planning Commission and after public hearings.

### 4. Areas to be Redeveloped

There should be no limitation on the size of the area to be redeveloped. Areas included should be slum and blighted, may be wholly or partly built up.  
(Continued to page 126)

present and future building problems, with two panels in each session. Principal speaker at the luncheon was L. C. Hart, of Johns-Manville and newly-named president of Producers' Council, whose topic was "Tomorrow's Challenge to Private Enterprise." Other luncheon speakers were Joseph E. Merriam, president of the National Association of Home Builders, Frank W. Cortright, NAHB's executive vice president, and Henry Shaheen, Chairman of the host Home Builders' Council.

The morning meeting opened with a panel on "Current Construction and Financing Problems," under the aegis of U. J. Cole, of the Home Builders' Association of Northern New Jersey. Panel members at whom the questions were fired included J. L. Haynes, head of WPB's Construction Bureau; Curt Mack, of FHA; Joseph Kramer of the Greater New York Lumber Industries; and Russell Creviston, public relations director of The Crane Company.

The morning session closed with a "Public versus Private Housing" discussion, including a report comparing costs of public and private projects, and a talk by Arthur Binns, of Philadelphia, member of NAHB's Public Housing Committee.

Final panel of the session flipped the curtains on the future. Members were E. G. Gavin, editor of *American Builder* whose topic was "What the Nation's Home Builders Will Offer in Homes;" Joseph B. Mason, building editor of *Good Housekeeping*, on "Down  
(Continued to page 132)

## Four New Associations Apply For Admission

The board of directors of NAHB has before it for action at its next regular meeting the applications of four new local associations. These, with their officers, include:

Minneapolis Contractors and Builders Association; S. G. Pearson, president and Robert Hendershott, secretary.

Home Builders Association of Chattanooga; Harry Gilbert, president and Creed W. Maynard, secretary.

Ellwood City (Pa.) Home Builders' Association; Ralph J. Herge, president and R. J. Schill, secretary.

Home Builders Association of Long Island (N. Y.); Fred C. Trump, president and O. J. Hartwig, secretary.

## Home Show Set Tentatively For February, 1946

Travel conditions permitting, Chicago's Hotel Stevens will be the scene of the 1946 Convention and Exposition of the National Association of Home Builders. The dates are February 25th to 28th.

In making the announcement, NAHB made it clear that all plans are being made subject to transportation and other requirements in the Pacific war, but pointed out that the magnitude of the Exposition is such that long advanced planning is necessary.

Joseph Meyerhoff of Baltimore, heads up the Convention Committee, with W. Hamilton Crawford of Baton Rouge, as his vice chairman. Paul Van Auken has been appointed Director of the Convention-Exposition, and offices have been opened at 111 W. Jackson Boulevard, Chicago.

## NHA Gets Authority To Make Housing Available To Veterans

House Bill 3322, already approved by the Senate, was passed by the lower body June 14th and sent to the President. It confers upon NHA Administrator Blandford wide powers in making housing available to veterans.

Under its provisions, housing programmed by his agency for war workers or others essential to the war effort can now be thrown open to returning servicemen and women where NHA finds it feasible to do so.

Also, the Administrator has power under the new act to move temporary housing, of the trailer or demountable type, to new locations in order to serve the housing needs of a "distressed" returning service personnel.

## Metropolitan New York Group Holds Building Conference

Close to a thousand builders, bankers, dealers and those with allied interests in the home-building field participated in an all-day conference on June 27th at New York City's Hotel Commodore. Devoted to a discussion and solution of present building problems and those that can be seen above the horizon, the meeting was sponsored by the new and active Home Builders' Council of New York, New Jersey and Connecticut, made up of five associations located in those areas. Chairman of the conference committee was James Graham, prominent Long Island builder, and secretary was O. J. Hartwig.

### Four Panels

Morning and afternoon sessions dealt respectively with

### Discuss New Ideas, Techniques

"The Veterans' Housing Problems" and "Future Home Financing" formed the basis of the first afternoon discussion, under Moderator Joseph Meyerhoff, of Baltimore, and with panel members including Philip Benson, president of the Dime Savings Bank and past president of the Mortgage Bankers Association; Morris Macht, chairman of NAHB's committee on FHA legislation; Norman F. Lemke, asst. secretary of the Prudential Insurance Company; Carl F. Distelhorst, president of the Council of Insured Savings Institutions of New York State; Curt Mack, FHA; Thomas H. Hiskey and Francis X. Pavesich, of the Veterans' Administration; Alexander Sumner, New Jersey realtor; and William Platt, president of Stevens Construction Company.





**WALLACE E. JOHNSON** of Memphis, regional vice president, NAHB for Region 6, including Kentucky, Tennessee, North and South Carolina, has been in the building business since he took his first job in a retail lumber yard 24 years ago in Mississippi. He and Mrs. Johnson founded their present company in 1939. Its first project comprised 5-room cottages which sold for \$2999; in 1940 and 1941, 556 of these homes were sold. His company built 932 war housing units in Tennessee, Arkansas and Mississippi, using assembly-line and precast methods.

In addition to war housing projects, Johnson's firm has built 1,000 homes in Memphis, is presently constructing houses for returning veterans, and is active in postwar plans for the general building market.

### Chicago Gets H-2 Quota Along With New Officers

Great glee and hand shaking featured late June banquet of Chicago Home Builders to install new officers. 3100 H-2 houses for the area were announced by "Bill" Divers of NHA.

### Tulsa Builders on Southwest Forum of the Air

The active Tulsa Home Builders Association arranged for a forum broadcast over Tulsa's Station KVOO to coincide with the recent visit to that city of President Joseph B. Merriam. On the air for 45 minutes from the president's room of the Oklahoma Club, the forum centered around public housing.

Participants in addition to Mr. Merriam included Roy Morgan, Tulsa Home Builders' president; Seth Hughes, prominent Tulsa realtor; Morris W. Turner, regional vice president, National Association of Real Estate Boards; Ben Wileman, regional vice president NAHB; Steve Pennington, Oklahoma City; and Ken Miller, interrogator from KVOO.

### War Housing Must Be Reserved To War Workers, Court Rules

Houses built for war-worker occupancy with government assistance must be held for such tenancy despite subsequent sale, according to a ruling handed down by a Federal Court in Cleveland, Ohio.

N. F. Molnar, a builder, erected a two-unit structure with priority aid, under an agreement to limit it to war-worker occupancy. In December, 1943, the first floor was so rented. In November, 1944, the house was sold, and the new owner sought to evict the war-worker tenant and use the premises for her own occupancy. The court's ruling was that such structures must be held for war-worker occupancy for the duration of the emergency, unless express governmental permission to the contrary is obtained.

### Rise In Negro Occupancy of War Housing

Approximately 115,000 units of war housing programmed through the end of 1944 call for negro occupancy, according to a statement recently issued by National Housing Agency. This figure is 8.6 per cent of the total units programmed, and is broken down into 25,000 privately financed and 90,000 publicly financed units. Mortgage funds of more than \$80 million were invested in the private, and \$295 million in the public segments. In late 1941, the negro share in war housing was only 1.4 per cent, from which it rose to 8.6 by the end of 1944, according to NHA's figures.

### Women Speak Their Minds On Future Home Details

Home Builders Monthly, the attractive magazine of the Home Builders Association of Metropolitan Washington, carried results of recent survey that should interest every builder:

#### Please, More Closets

More closets heads the list of demands, in view of help shortages and the greater emphasis on storage space. Adequate heating facilities ran a close second.

Better room layout, adequate room sizes, improved lighting facilities and better organized kitchens—these were but a few of the items on which Mrs. Postwar America has ideas.

### Utah Builders Present "School For a Day"

Members of the Utah Home Builders Association returned to "School for a Day" in a comprehensive conference held in late May in Salt Lake City's Hotel Utah. This, the state association's first annual conference, comprised a successful series of classes on markets, materials, financing, architecture, priorities and land planning. Motion pictures of the erection of San Lorenzo Village, Dave Bohannon's California project, were shown.

An average of 160 members attended each of the sessions, and the speakers included representatives of FHA, Utah County Planning Association, Utah Lumber Dealers Association, U. S. Gypsum Company, Westinghouse, Sharp Electric Company, Utah Builders Supply Company, Salt Lake Chamber of Commerce, and the Fritz B. Burns Research Division.

Feature of the banquet was a showing of the new Kaiser plan for "Low Cost Community Home Organization" film.

The committee included F. Orrin Woodbury, regional vice president, Alan E. Brockbank, national director, and Utah Home Builder officials Howard J. Layton, president; Ed. J. Holmes, vice president; C. Taylor Burton, secretary. Also N. J. Bowman, Ralph W. Larsen, Wilford Biesinger, Alex G. Adamson, directors.

### To Review Lumber Needs

Due to effects of a shift to a one-front war, military lumber requirements will be reviewed by WPB in mid-July.

### Nutshell Editorial

An article in the Oregon Journal of April 30th carried a statement that "by 1946 Vanport City will be welcoming a new type tenant—the returned veteran with his family," and goes on to ask:

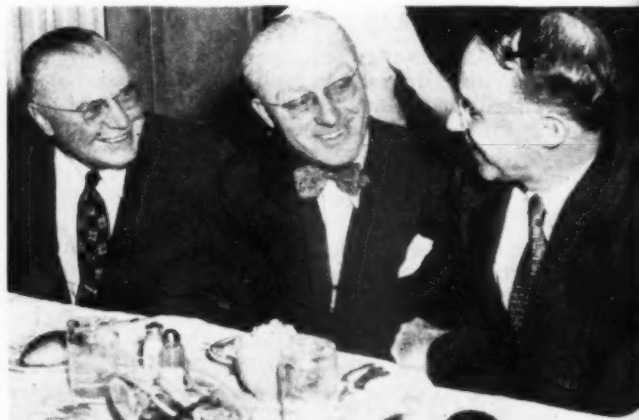
"Is that what was promised when the boys went away—housing in temporary wartime buildings? Is this his reward for sweating and freezing in foxholes, fighting day after day, night after night for the America of a normal decent life, the America of comfortable homes, privacy, and the opportunity of individual family existence? Is he to be regimented and herded into group dwellings and treated as a social welfare case? Our association answers this with a ringing 'NO!'"

"Let's get away from the useless and hampering restrictions, red tape and hindrances and our members will build good homes for veterans in locations of the veterans' own choosing. Let the 'do-gooders' and social planners keep handing off. Our veterans want the American way of life."

From The Portland Home Builder (official publication of the Portland, Ore., Home Builders Association, Inc.)

### NRLDA Offers Planners Manual

A complete manual for home planners' group is offered by National Retail Lumber Dealers Association to those in the building field anxious to start such a project. Address inquiries association at 1713 Rhode Island Ave., N.W. Washington, D.C.



ATLANTA'S MAYOR Hartsfield (right) introduced NAHB President Joseph E. Merriam on occasion of his recent appearance before the city's Association of Home Builders. Merriam called on government to support rather than compete with private builders and, on those terms, accepted the challenge to builders to supply homes for everybody. Atlanta Home Builders are headed by L. J. Boggs, president (left, above); Earl McMillen, vice-president; Mrs. H. C. Young, secretary; and Phil L'Engle, treasurer.



## Builders Can Ready Sites Now, WPB Declares

A recent release from the War Production Board reminds builders and others interested in new home construction of recently announced exemptions to L-41. One of the most important, the agency points out, is removal of the ban on preliminary earth-moving operations, so long as no lumber or other construction materials other than drainage pipe are required.

The agency recently boosted the limits on certain kinds of repair and remodeling work which might be undertaken without governmental permission, as reported in Builders' News Review for June, 1945.

## New Texas Association Receives Charter

The Fort Worth, Texas, Home Builders Association received its charter recently from NAHB President Joseph E. Merriam at a dinner held in that city. Joseph Driskell, president, accepted on behalf of the local association. C. Allen True is Fort Worth's secretary.

## Merrion Cites Housing Needs in Houston Talk

A capacity crowd of 135 builders, mortgagees and others active in the home building field heard President Joseph E. Merriam recently in the Texas State Hotel at Houston. Speaking before the Houston Home Builders Association, the NAHB president stressed the failure of the GI Bill and the need for amendments to the National Housing Act.

The GI Bill has "broken down," he declared, since more than one and a half million service men have been discharged and less than 1,000 new homes financed for them.

### Liberalize Housing Act

The nation needs liberalization of the National Housing Act, he declared, to spread purchases over a period of 35 years in order that private builders may reach the lower income groups who need housing.

President William G. Farrington of the Houston Chapter presided. He, along with J. Francis Morrough, executive vice president, estimated 22,000 new homes will be needed in Metropolitan Houston by 1950.

## Cortright's Column

By Frank W. Cortright

Executive Vice-President, National Association of Home Builders of the United States



**Executive committee confers** with government officials. Determined to cut through the confusion now existing and establish an adequate reconversion plan for the industry, NAHB President Merriam called a special session of the executive committee recently for four days of conferences with government officials. Not since the early days of the home builders emergency committee in 1942 has such a careful study of current conditions been made and the home builder's case been so vigorously presented. Based upon a wealth of information received in the Washington office during the last several months, upon facts learned by President Merriam during his recent visit to 25 cities, and upon the individual experience of the committee members, a two-fold program was established.

**Short-range objectives agreed upon** include the elimination of program review by the APU Committees in number one and number two labor areas, an increase in price ceilings to \$12,000, the stimulation of lumber production and a larger allocation to construction, and a substantially increased H-2 program during the next quarter. The longer-range program includes the complete lifting of L-41, the elimination of all sales ceilings, the support of legislation and executive orders which would speed up the veterans' housing program, and the blocking of material allocations to public housing construction. Only by the accomplishment of all these objectives can the industry meet its full assignment of employment and housing.

**Full recognition of the importance** of the construction industry in supplying employment during the transition period was apparent at every conference. Without exception the high officials of government interviewed stated that in their opinion construction headed the list. When questioned as to the necessity of continuing controls, the uniform answer was received that there was insufficient lumber for unrestricted construction, and that labor was still tight in 130 cities still classified as No. 1 and No. 2 by the War Manpower Commission. However, upon determining the effect of cutbacks now being made, and the volume of critical materials which will be made available, the committee was assured that month by month L-41 "would be tilted" and then lifted entirely. All officials expressed the hope that home builders would be prepared to move rapidly into full production by early spring at the latest.

**A situation like last September** now exists. Builders will recall that government officials at that time suggested that arrangements be made for land acquisition, subdivision, house design and preliminary financing. The totally unexpected Von Rundstedt push into Belgium and a re-appraisal of the full magnitude of the production necessary for the Japanese war completely reversed the picture. With this in mind a somewhat more conservative position must now be taken. Lumber will not become abundant over night. Some low-wage industries will have

(Continued to page 122)



**BULLETIN BOARD** exhibit recently set up in its headquarters by the Home Builders Association of Memphis. Comprised for the most part of literature collected at the NAHB Home Show in January, the exhibit is center of interest for local builders. Idea is one sure to catch on with other associations throughout the country.

## Cleveland Press Builds A Fire

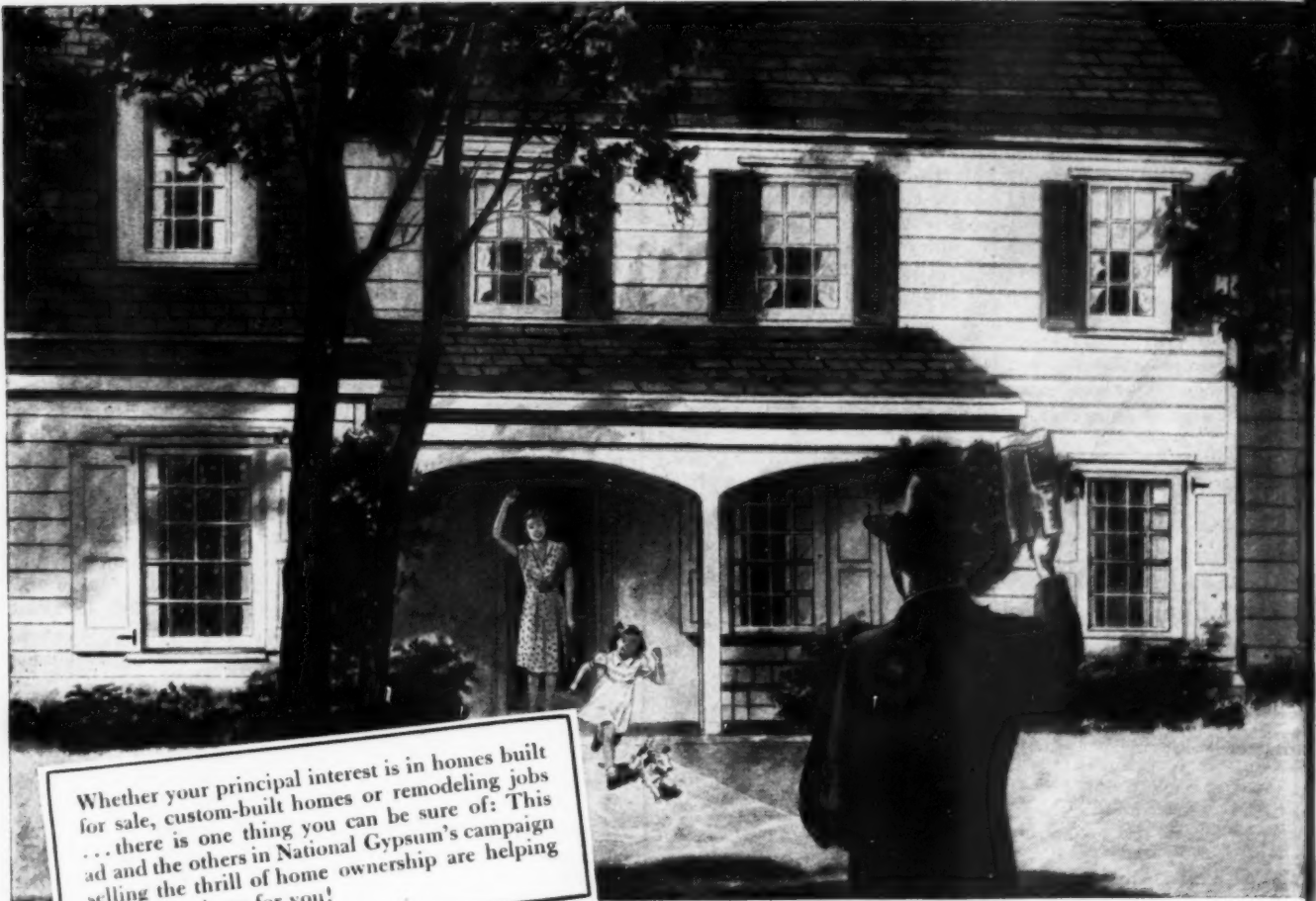
Cleveland builders had been patiently awaiting a 2250 unit program, recommended by regional NHA several weeks before. Cleveland Area Production Urgency Committee had failed to clear the program. PUCs must certify that labor is available without stripping labor from war plants.)

On May 15th, Jim Chandler, alert Real Estate Editor of

The Cleveland Press, began a series of front page articles detailing the local housing need and questioning delay in PUC approval. May 18th, Cleveland City Council Housing Committee met to plan action. Same date, PUC announced it was forwarding its approval.

May 31st, NAHB's national headquarters announced NHA had approved the program.

Other builders' associations stymied by PUCs please note.



Whether your principal interest is in homes built for sale, custom-built homes or remodeling jobs... there is one thing you can be sure of: This ad and the others in National Gypsum's campaign selling the thrill of home ownership are helping develop business for you!

## "LIKE THE THRILL OF YOUR FIRST ICE CREAM CONE!"



Remember your first ice cream cone? What a thrill that was! Then came the tricycle and your first car. Now, for the biggest thrill of all... *your own home*. Something you've dreamed of ever since you were married.

Just wait until you see the sparkling new post-war home the building industry has planned for you. Constructed of guaranteed Gold Bond Building Products for greater beauty, comfort and permanence. You'll say it was well worth waiting for.

Or maybe it is a modernizing job you're planning. Here again, your best bet is Gold Bond materials. Fire-proof Gold Bond Gypsum Board in plain, tile or charming wood-grain finishes for quick application right over shabby old walls and ceilings.

No matter how old the house, Gold Bond Rock Wool Insulation can be installed in less time than it takes to paint. Keeps you cooler in summer...snug in winter and pays for itself in fuel savings.

1-Hour Sunflex, the new post-war wall paint, is available right now in the most delightful tones you've ever seen. Takes the "headaches" out of decorating because there is no lingering painty odor. Whatever the product... wallboard, plaster, insulation, the famous Gold Bond trade-mark is your assurance that you are getting high quality at no higher price.

Now's the time to start planning and your first step should be to consult the local lumber and building material dealer. He is the best man in town to show you how to get the most out of your money. National Gypsum, Buffalo 2, New York.

# BUILD BETTER WITH GOLD BOND



LATH • PLASTER • LIME • METAL PRODUCTS • WALL PAINT • INSULATION • SOUND CONTROL • WALLBOARD



# AMERICAN BUILDER *Editorial*

## **Public Housing Not the Basic Issue**

**T**HE battle to decide whether the construction, ownership, control and management of housing for the indigent is a function of federal government has reached such a stage that the basic issue has become submerged in a froth of confused controversy over slum clearance, ways of extending or disguising charity, and who can build and operate what for less money.

It is time to call attention to the fact that the basic and primary issue involved, and the one which the opponents of the public housers must keep clearly in the foreground ahead of all other issues, is whether this country is going to adopt the principles of Marxian socialism upon which to predicate its future economy, or whether it is going to continue to develop its resources and improved individual living standards under an enlightened capitalistic system of free private enterprise. The issue is whether the function of government is to be changed to guarantee every man what government arbitrarily determines are his needs regardless of his ability or will to earn those needs, or whether we will continue with a non-regimented society in which every man under the stimulus of lawful competition is free to develop initiative and earning power to his limit.

The traditional American system, freely admitted by its proponents to be far from faultless, was established to permit men to exercise their native talents and build a superior social and economic order. Because there have been no restraints on individual initiative except those self-imposed through ethical considerations and those law-imposed to curb the few who always must be checked legally, we have achieved the highest standard of living the world has ever known, and in doing, produced the individual initiative necessary to defend it.

### **The Choice to Be Made**

The issue, then, is whether we shall retain the system that produced standards and men unequalled anywhere in the world, and that opens the way for the so-called under-privileged to reach the highest economic and social levels in the world, or whether we shall embark on a program of government charity which must inevitably lift its ceilings until eventually it guarantees all men certain housing, raiment, food and perhaps private transportation standards, and thus destroys the will to work and to create. The issue is whether we shall retain the stimulus to produce and thus continuously raise the general standard, or whether we shall destroy that stimulus, and with less and less production, lower the standard.

Public housing is not an issue in itself. It is a part of an over-all scheme to socialize American government, and to regiment American society. Public medical and dental care are among other approaches being used. If the socializers are successful with housing, medicine and dentistry, they will have gained advantages of tremendous importance to them. Thus entrenched, it will be extremely difficult to stop the spread of socialism and subsequent regimentation in every phase of American life.

It is necessary, therefore, to keep in mind the ultimate objective of the public housers, to keep in mind that they represent only one of a number of elements working toward socialized central government control of all business and industry, and in the fight for maintenance of the traditional American pattern of government, to avoid being maneuvered away from the basic issue. We have been so maneuvered because the public housers are expertly organized, and because what is known as the home building industry is, in fact, a half-dozen vertical industries operating along parallel lines, and without a spokesman to represent their common aim, the production of housing.

### **A One-Sided Story Now**

The public housers have large statistical research staffs on the government pay rolls who spend all of their time assembling data, and interpreting the data to serve their own purposes. Added to that, their district offices, strategically located throughout the country, are headed by men trained to do a "public relations" job on the public and on city and state officials. At least one excellently prepared 50-page book of instructions on how to do the "public relations" job has been issued for the training of local housing agencies. It is entitled "Public Relations of Local Housing Authorities." It is subtitled, "A Committee Report on a Vital Function of Local Housing Agencies." It was prepared by the National Association of Housing Officials. The result is that the public press, generally, carries only the public housing side of the story, and that libraries, public and school, generally carry only the pamphlets and books of the public housers.

That, in brief, is the scope and strength of the forces aligned against private enterprise in the home building field. If we are to defeat those forces it is necessary for us to define and stick to the basic issue, provide for needed research and organize the machinery for carrying the true story of home building and ownership to the American public.





LEFT, view of the kitchen is seen from terrace through the solar window panels of Thermopane; equipment includes single unit with range, work top, sink, garbage disposal; also refrigerator, automatic washer, built-in metal cabinets with special mirror over sink to reflect view through windows.

## Packed Full of

BELOW, at left, glazing is in fixed sash with ventilation entirely through screened louvers top and bottom, and controlled by pane hopper doors with friction hinges.



**I**N Rockford, Ill., a new type of a home has everyone talking about it. Much of the talk has been pure speculation because, at the time this story is being written this "new conception of a small home" has not been open to the public; nevertheless, 5,000 had managed to visit during one weekend.

Why the great interest? In the first place this model built by Green's Ready-Built Homes under special WPB permit has been publicized as the answer to postwar living. It is to be prefabricated. It is a solar house with large glass areas on the south side. Furthermore, it is packed full of construction ideas, materials, and equipment which are either relatively new, specially built, or manufacturers' postwar models.

George Fred Keck, architect, of Chicago, has been working on solar homes for some time and has designed several forerunners, all custom built, before working on the one shown here. One of the features of this prefabricated job that he has included is the multiple use of space; there are only three principal rooms with the main room

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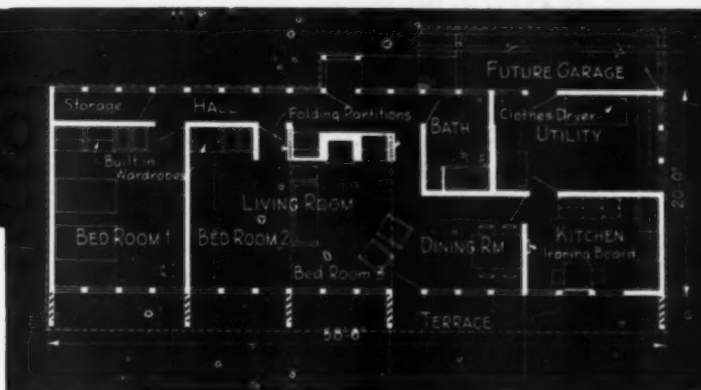
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## ul of Postwar Ideas

**Designed for latest in equipment, materials, space use by Architect George Fred Keck; planned to be prefabricated by Green's Ready-Built Homes**

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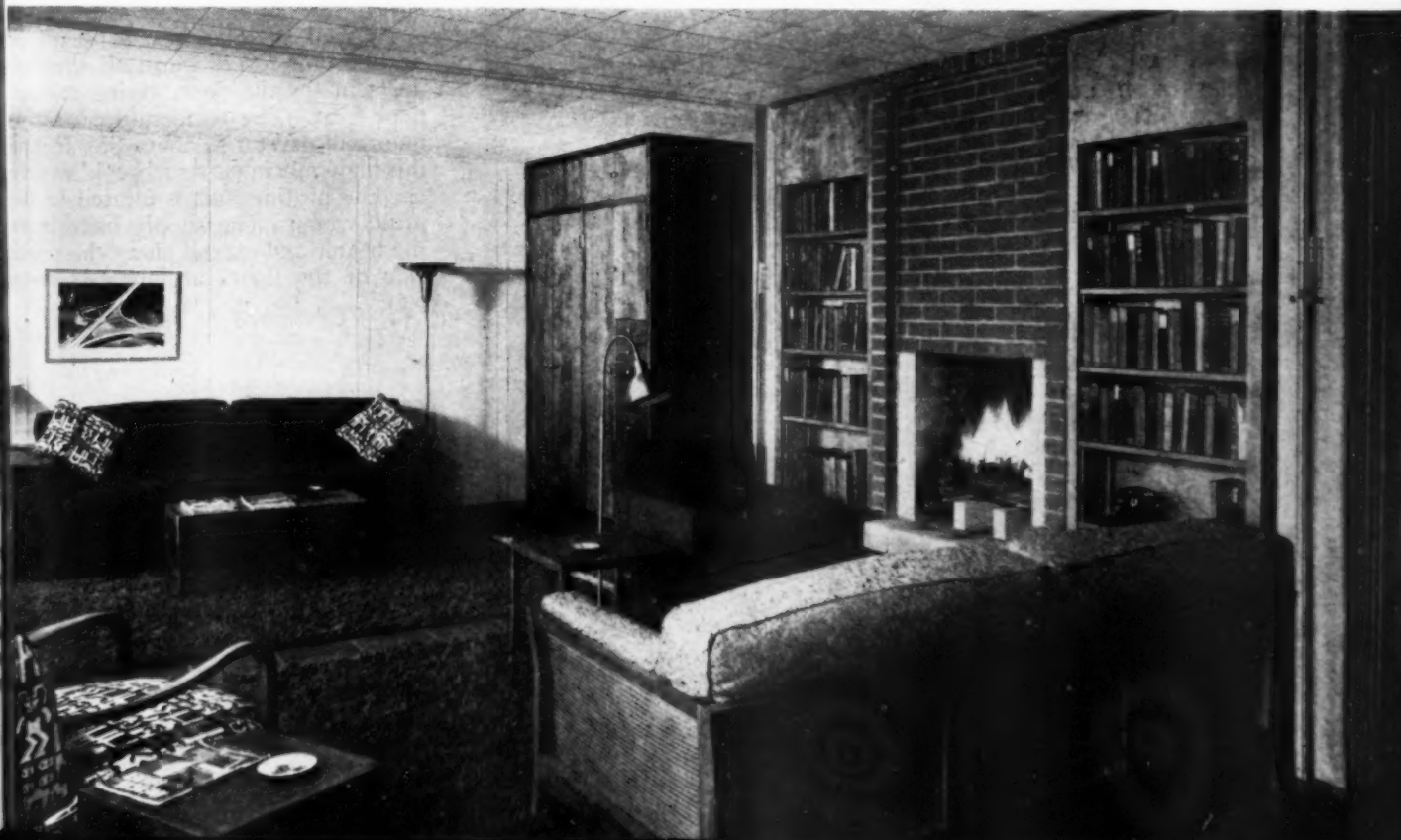
ABOVE, model of new solar house produced in Rockford, Ill., showing large window panels, overhang and vertical louvers for additional protection against sun early and late in the day. Below, living room divides into three rooms with folding partitions. Note built-in wardrobe and bookcases. Bath has linen closet inside.

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## Ideas on Postwar Living

**TOP VIEW**, the master bedroom features a large plate glass mirror with a simple dressing table mounted directly below. Mirror reflects light and view from the double window panels; note prefabricated wall panels are painted on one side, birch finish on three walls. Below at left, one of the sliding partitions partly extended to close off one end of living room as bedroom, and corner utility room showing gas-fired clothes dryer. Also located in the utility room are hot water heater, water softener, storage cabinets, and gas-fired furnace that circulates forced warm air through the radiant heating tile floor.

(Continued from page 84)

being used as living-dining space during the day and converted to two extra bedrooms at night by the use of movable partitions.

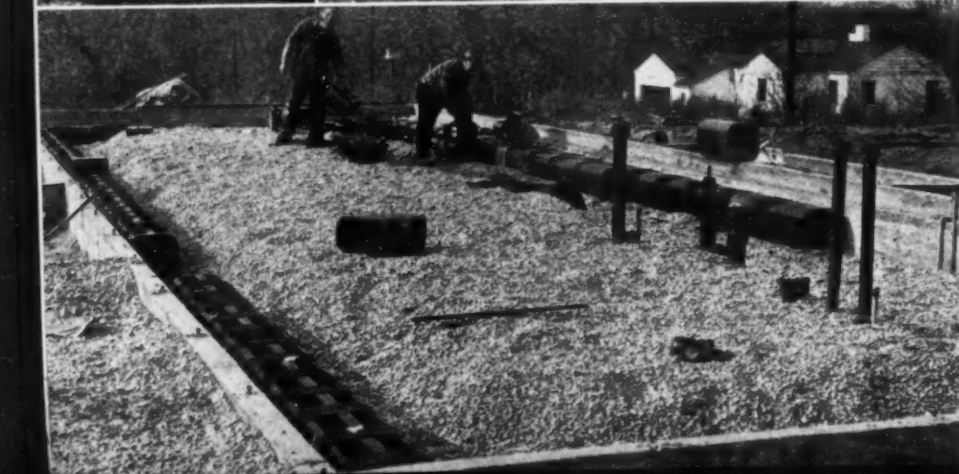
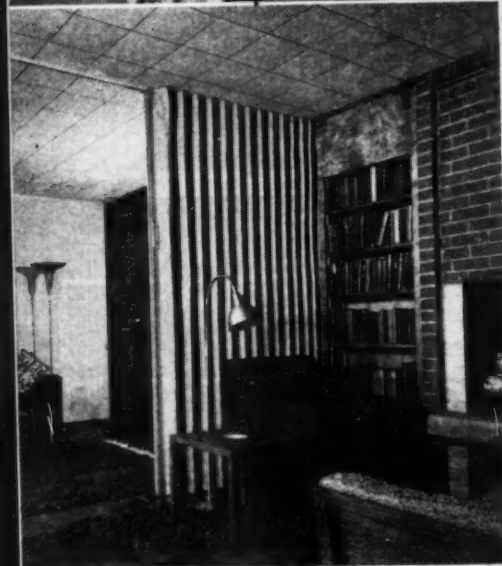
To take full advantage of the sun's rays, main rooms and windows are on sun side; north side has service aisle and small windows to act as "buffer" against winter winds. Projecting roof on south side shuts out direct rays of high summer sun, keeps interiors cool. Winter sun, low on southern horizon, slants under eaves, floods house with heat and light.

"Picture windows" provide open views, result in better vision. Double plate-glass panes, built-in for year-round insulation, will not frost up or steam over—no storm windows to put up or take down. Above and below many windows are screened louvers, which can be opened or closed, for ventilation.

As well as solar heat, a gas-fired heating unit forces warm air through ducts in the tile floor, giving radiant floor heat. The temperature of this floor will never rise above 85° F. and this high only in extremely cold weather. The heating unit is located in the utility room. The supply lines leave the heater and extend along the north side of the floor; at intervals these

(Continued to page 138)

**ABOVE LEFT**, in this Green's Ready-Built home all light switches are at floor level and operated by foot. A continuous electrical outlet strip runs around all rooms as a base mould permitting outlets at any location. Part of one of the two built-in wardrobes is also shown. Below, workmen are laying the tile supply and return ducts at sides of the foundation before balance of gravel fill is in place; in smaller view above, workmen are completing the tile floor slab which carries the forced warm air and is the source of radiant heating during periods when solar heat is insufficient to keep house warm.





# The ABC's of Slum Clearance and Low Cost Housing

A simple explanation of basic principles for the laymen.

By Frank Cortright

Executive Vice President, National Association of Home Builders.

**D**URING the last ten years, since socialized housing was introduced in this country, there has been increasing dispute between the proponents of public housing and private enterprise interests. With the imminence of proposals to Congress for a vast postwar public housing program, it becomes increasingly important to strip off all the fancy wrappings and examine the basic issues.

Even the most sincere and vigorous champions of private enterprise in housing have gradually fallen into a number of traps skillfully laid by the social thinkers. Objectives impossible of accomplishment by either private or public effort have been accepted as a necessary part of any adequate proposal. Things entirely separate in their nature have been merged until the simple facts are obscure and oftentimes forgotten.

Government threats, backed by unlimited personnel and financial resources, have sometimes frightened advocates of private enterprise into hasty and oftentimes foolish and inconsistent proposals for tax abatements, various types of Federal subsidy, etc. Demands for a "simple formula" by which the home building industry can build new housing for the lowest income group and do all of the uneconomic and impractical things public housing claims it will do are constantly made. Obviously, there is no such thing. The only satisfactory answer lies in a longer-range program of slum clearance, volume building by private enterprise and local rental relief. There is no more magic in the hard mathematics of private enterprise operation than there is in the use of public funds. The former is efficient, factual and successful, and the latter is cumbersome, unskillful and enmeshed in red tape.

No matter how elaborate, how devious, or how subtle the financing of public housing with its various hidden subsidies may be, it still adds up to a wasteful procedure—every dollar of which comes from the taxpayer's pocket. On the other hand, the building industry can without subsidy meet the country's housing needs if permitted to function at its maximum capacity and if municipal bodies and welfare organizations carry out their various responsibilities.

The time has long since come to stand off and get a clear perspective of the several simple, basic facts of this low cost housing problem. Reduced to fundamentals, there are three distinct problems involved. Their relationship

lies only in their final integration to meet the total need. These elemental and distinct problems are:

- A) Slum clearance and the replanning and reuse of the land.
- B) The construction of housing.
- C) Rental assistance to those who cannot afford decent, safe and sanitary shelter.

A) **SLUM CLEARANCE** is most certainly a local problem. By no stretch of the imagination is it the responsibility of the home building industry or of any other industry. Whether or not State or Federal financial assistance is proper and desirable is a matter of local determination. The complexities of slum acquisition, demolition of structures, replanning, redistribution of land for various uses, etc., can only be handled properly by local government. The blight in some areas can be arrested and some properties can be rehabilitated. Better housekeeping and maintenance, revision of outmoded building codes and most important of all, enforcement of existing safety and sanitation codes, are of primary essentiality.

B) **THE HOME BUILDING INDUSTRY** can and will produce maximum quantities of good housing for sale and rental at the lowest possible economic cost. It requires no subsidies and can build on any land made available at reasonable cost. The building industry has moved further down in the low cost housing field in the last decade as the result of improved techniques of financing and construction. As more attractive financing for purchasers, particularly lower down-payments and lower monthly charges, are made available, home ownership will be correspondingly encouraged. The building industry is increasingly eager to take advantage of this broadened market and assured return in the lower cost rental field. As in all other industries competition will insure maximum values and production.

C) **THOSE OF THE LOWEST INCOME GROUP** requiring decent, sanitary shelter should receive from the local welfare agency whatever rental assistance is required. Shelter should be provided in the same manner as the other essentials of life—food and clothing. By such method there is no stigma of disgrace or identifying mark placed upon recipients of such aid, as contrasted with their being herded into publicly owned housing compounds for all the world to see.

It is apparent that each of the above operations are entirely proper, logical and readily possible of accomplishment. The net result of their concurrent operation is that

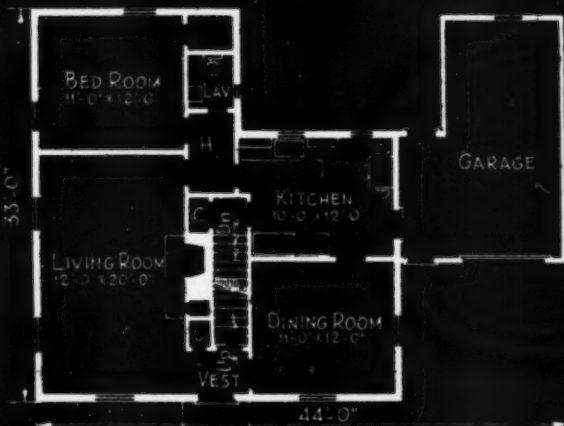
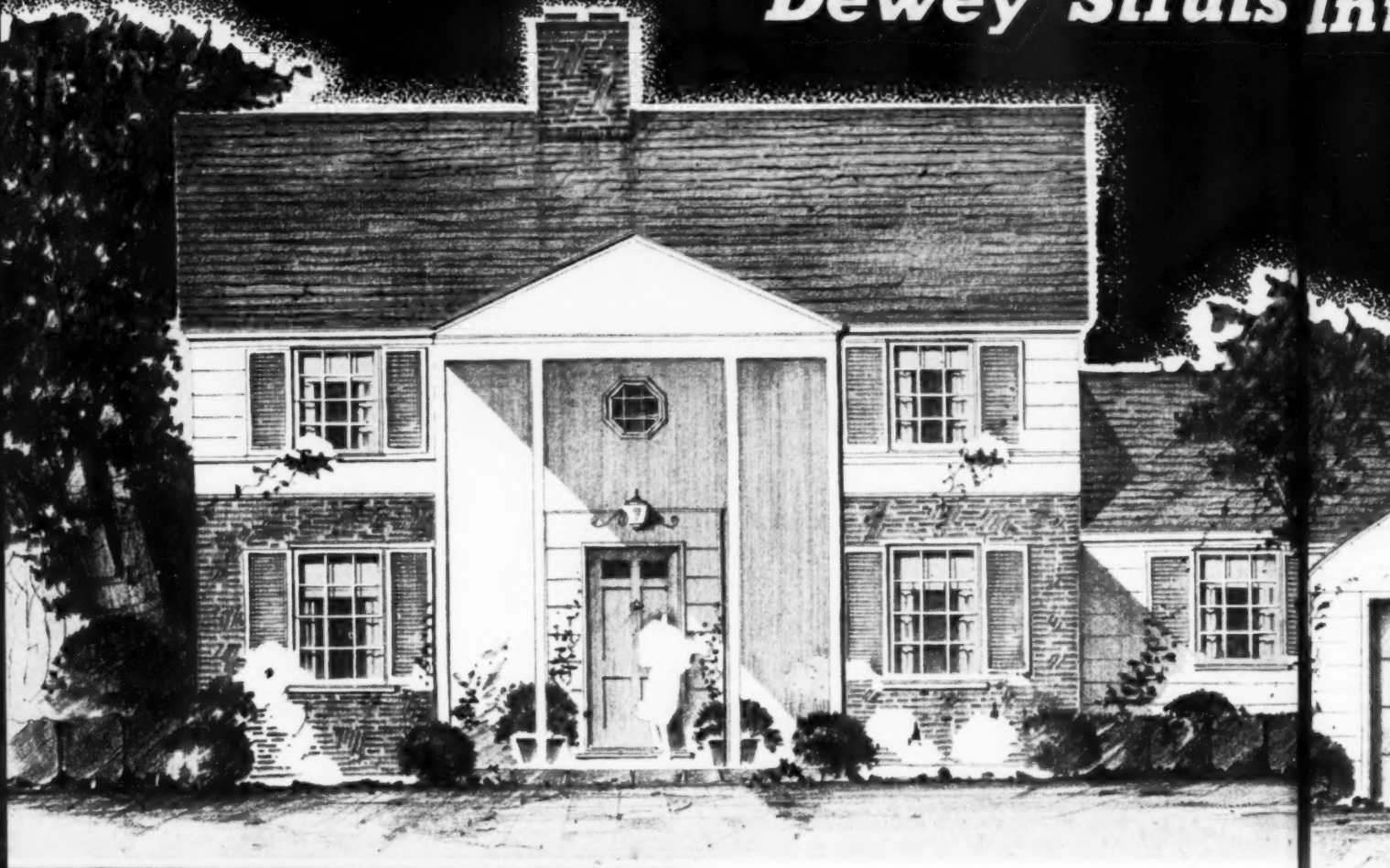
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## Annual Convention and Exposition Issue

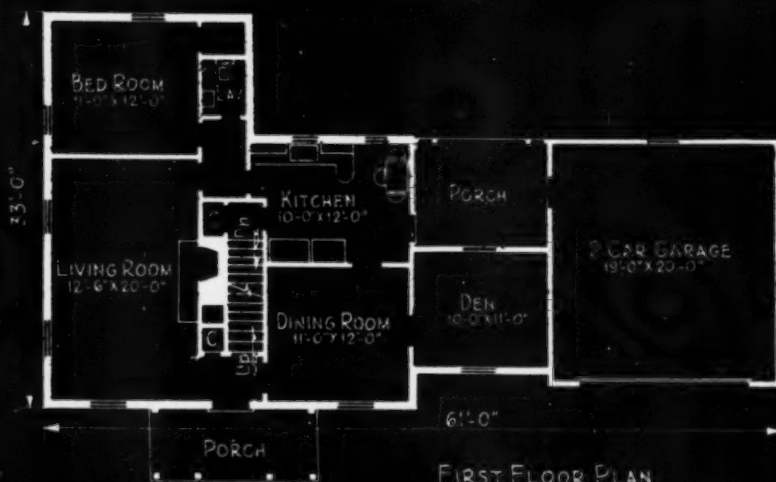
The National Association of Home Builders has announced that its 1946 Convention and Exposition will be held February 25-28, 1946, in the Stevens Hotel, Chicago. In recognition of this important

building industry event *American Builder* is making its February, 1946, issue the Annual Convention and Exposition Issue which will, among many other features, preview the Convention and Exposition.

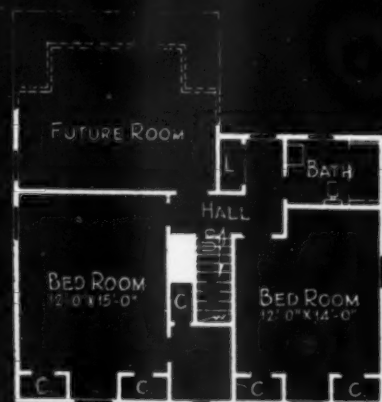
# Dewey Struts In



ALTERNATE FIRST FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

ALTERNATE floor plan directly left of this description enables builder to use plan of broad house pictured above for a narrower lot. The narrower plan is for the elevation at bottom of opposite page. Floor plans at bottom of this page are for design pictured above with two car garage. Drawings and renderings by Designer Clifford J. Foyster.



# 's Into Postwar with New Plans

Moves forward with these fresh, new designs for tomorrow's homes



**American Builder in June presented the advanced planning of the Niagara Frontier. The home designs and building philosophy of a veteran builder of the same area, Ray C. Dewey, are given in this follow-up.**

*By John E. McNamara*

Associate Editor

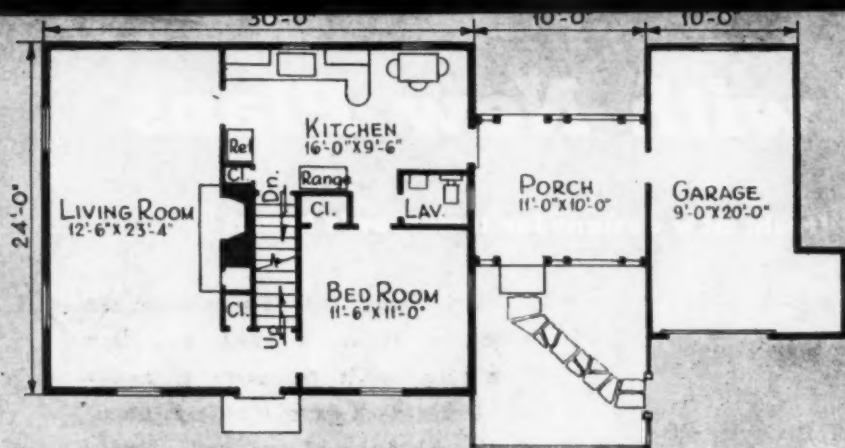
**"A**LMOST all stories, these days, seem to place their dating before or after the war. Wars seem to come frequently enough to make milestones that stand out in people's memories—"

No, the quotation above was not written about this war. *American Builder* lifted it from a little booklet entitled "Do You Really Want To Build A Home of Your Own?" which was written after World War I about the home building methods and ideals of the R. C. Dewey organization of Buffalo, N.Y., about which this story is written.

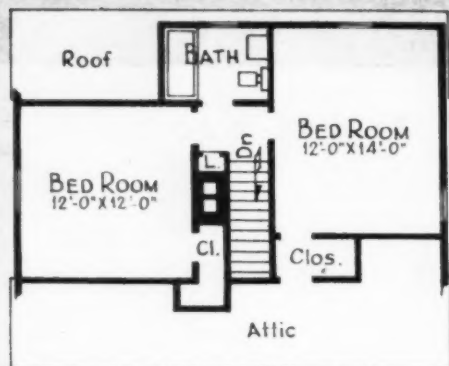
So effectively has this piece of literature sold the idea of home ownership and so many families has it persuaded to select the Dewey organization to







FIRST FLOOR PLAN

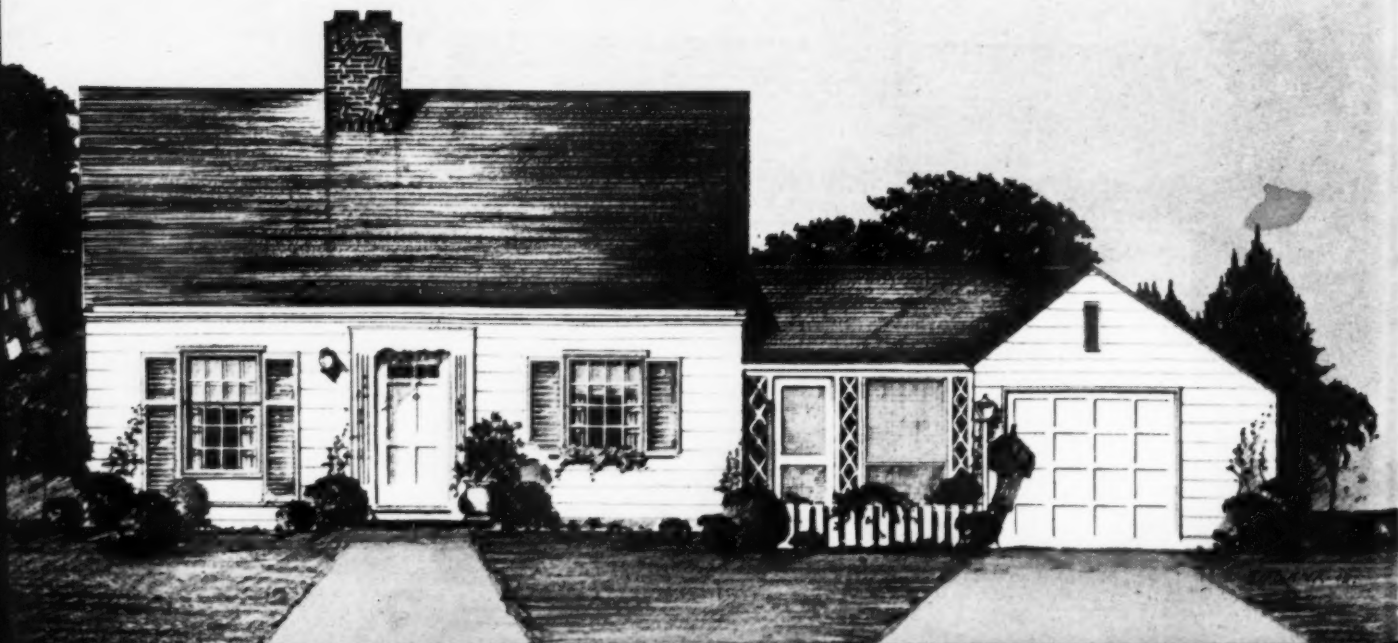


SECOND FLOOR PLAN

POSTWAR plan while similar in basic design to the prewar home on opposite page, shows an improvement in the location of the lavatory, which is centered in the gable end of the house and allows the space at the kitchen window for an attractive dinette. The first-floor bedroom can serve as a den or dining room, later as bedroom. When owners grow older, they can shun the hazards of climbing stairs.

## Illustrating additional advanced planning used by builders of the Niagara Frontier. Others appeared in June.

AUTHENTIC, trim lines of the long beloved Cape Cod below, floor plan of which appears above, guarantee this style of architecture a strong place in postwar home building. Dewey says his prospects are demanding it rather than "tricky" styles. Screened porch joins the garage with large tool storage to house.



(9)

build their homes that it continues to be used throughout the years spanning the two World Wars of our age.

Every upstanding builder of quality homes in America will find a great value to his own business operation from a reading of this piece of advertising. He will, I predict, exclaim to himself: "The sound ideas to encourage home ownership expressed in that language written after the last war will apply just as well when this war is completely over."

Likewise when he studies the postwar and prewar house plans of this organization, he will say to himself: "Why, there is not a great deal of difference. They were building homes of architectural attractiveness and good planning before the war."

Just as the high-minded advertising literature advocating ownership of quality-built homes wore well enough to last through the years, so also the well planned homes of prewar days are wearing so well in the human mind that prospects for postwar homes want, and will continue to want, homes of like design, plan and quality.

Of course there will be improvements and advances in planning, materials and equipment. As an example of the advance in planning, study the postwar designs, on this and the preceding two pages, and compare them with the prewar plans on the opposite page which this same company built several years before the war.

An out-of-the-ordinary feature of the advertising literature previously quoted is the fact that it is not presented as something that Dewey himself says about the organization he has headed for the thirty-five years of his building experience. It is instead signed by J. Jay Fuller, prominent

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**VARIATION** of the Cape Cod Colonial adds an interesting stone chimney to hold wood burning fireplace in front end of living room and weather shelter at front door. Floor plan appears below. This popular prewar Dewey home shows close relationship with his basic postwar plan on opposite page. Note how improved location of lavatory in the postwar planning provides a kitchen dinette.



**RAY C. DEWEY**

President of R. C. Dewey, Inc., some of whose pre-war and post-war planning appears on these pages for purpose of comparison.

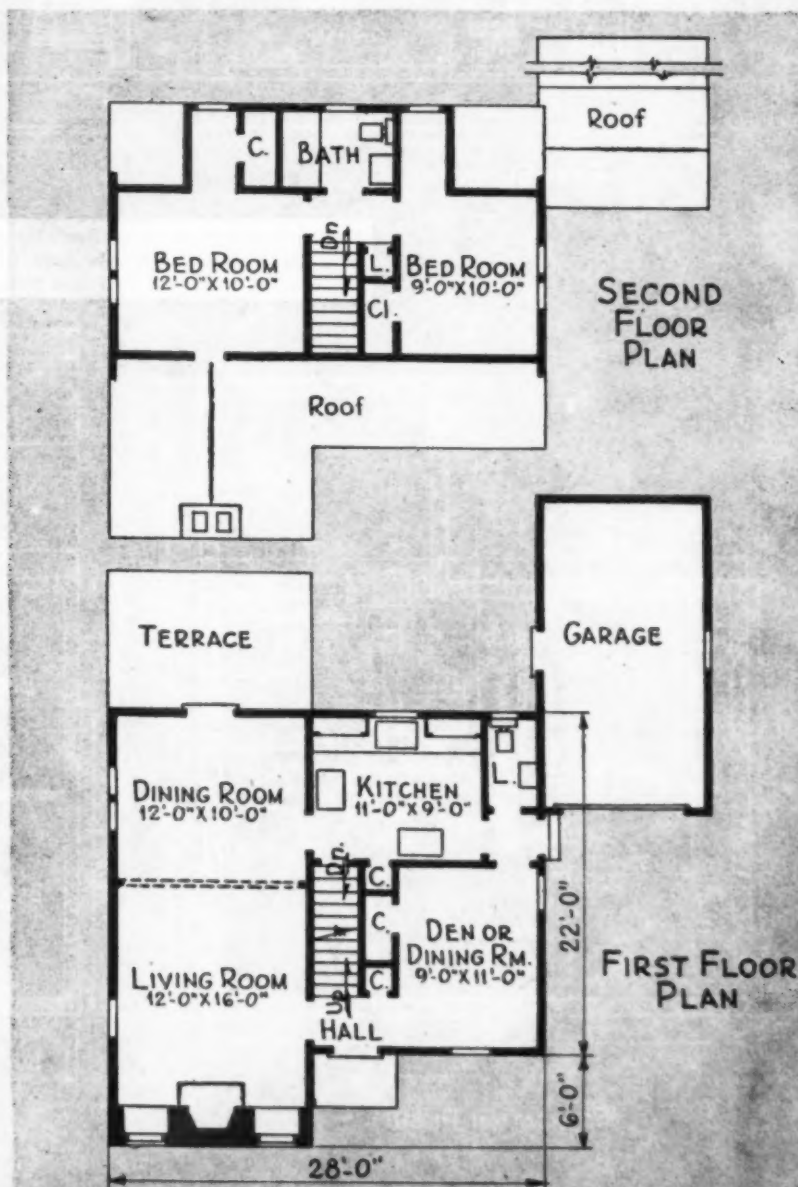
advertising and merchandising consultant, widely known and respected in the community in which the building company operates.

While it is true that the advertising man was paid to write it, still it has the advantage of being written in the third person. Someone else is saying the good things about Dewey and his organization. He is not saying it in the first person. It carries more weight, don't you think? It is quoted again below:

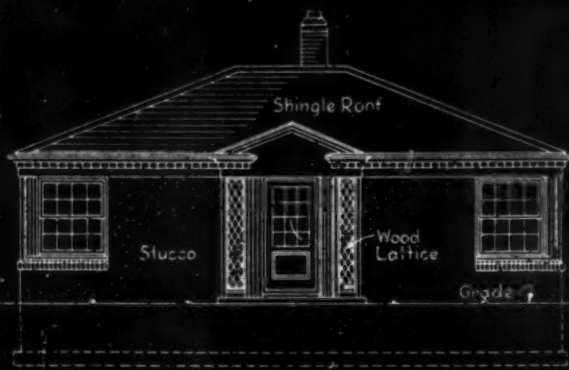
"Its size is not important—the greatest happiness is often done up in the smallest packages. But the very ownership in itself makes for stronger family ties, more substantial community ties and for general peace of mind and contentment.

"Regardless of where you find people, rich or poor, grave or gay—you will find them happiest in homes of

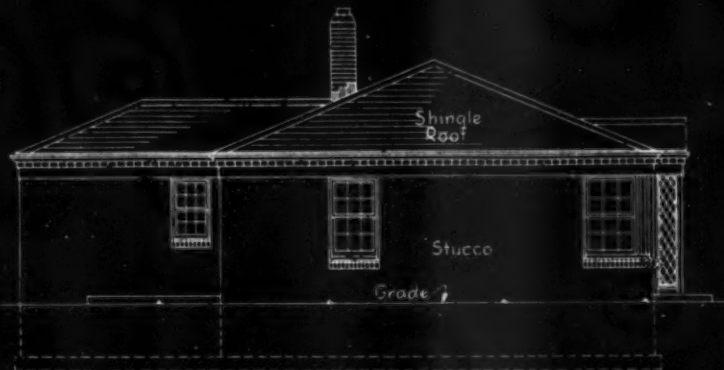
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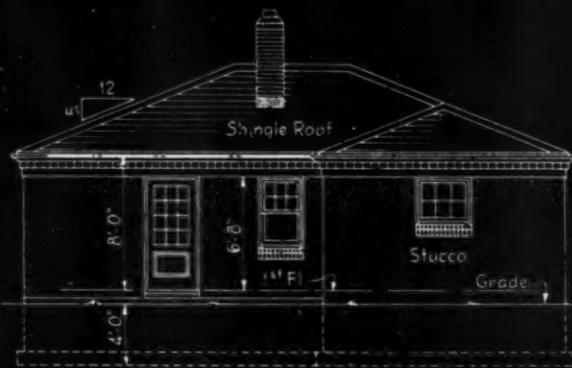


FRONT ELEVATION



LEFT SIDE ELEVATION

**Low cost, masonry home by R. C. Dewey, Inc. in the five pre-war years**

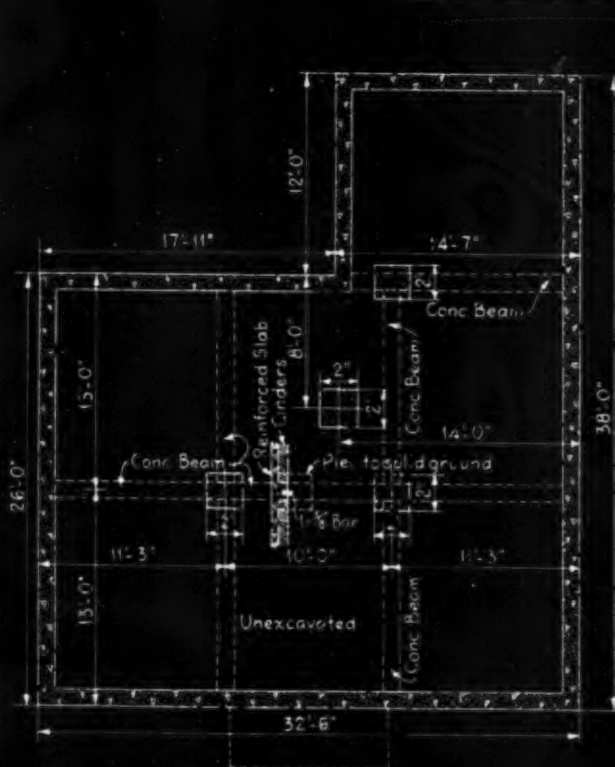


REAR ELEVATION

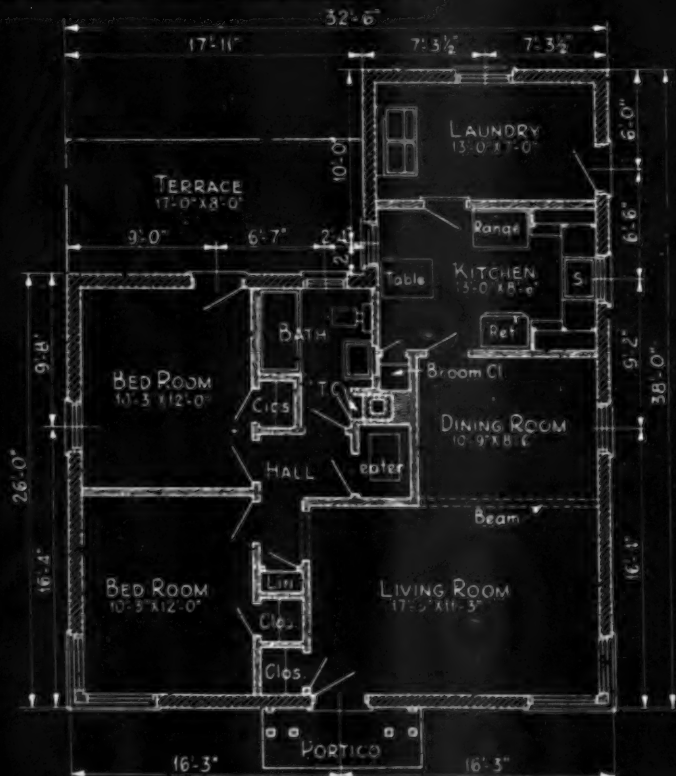


RIGHT SIDE ELEVATION

**EVERYTHING** required in livability by a small family is offered in a street of small homes built by Dewey with variations of this plan on wide lots. Sold then from \$3950 to \$4750 with garage.



FOUNDATION PLAN



FIRST FLOOR PLAN

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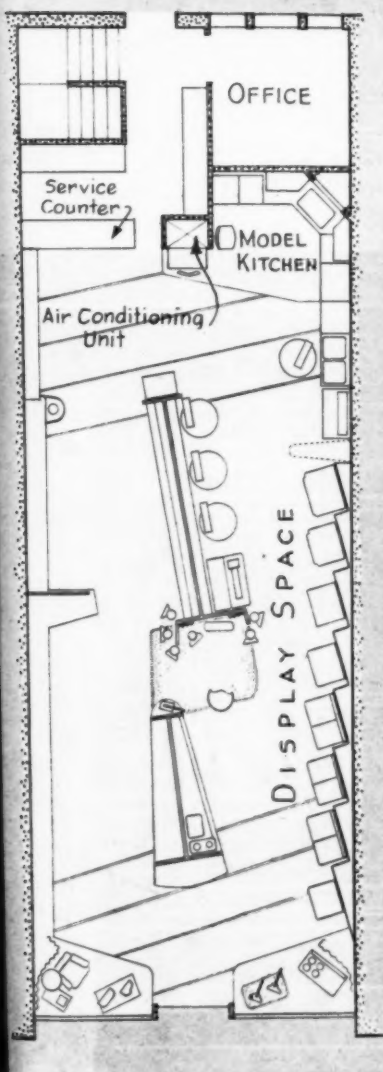


# How to Plan an Electrical Shop

Dealers will need top merchandising efficiency; here is practical approach



ABOVE, two versions of appliance and radio store front; in one, entrance is centered, the other at side. Glass is featured material.



ABOVE, proposed store layout planned to lead customers into the store. This arrangement is pictured at the right with acoustic ceiling, modern lighting, linoleum floor.

**P**OSTWAR sales volumes in electrical appliance and radio stores promise to be large, but competition will be keen; a thoroughly modern place of business will be essential. But study of the problems confronting these dealers who want to plan now for tomorrow's merchandising shows a great difference between down-to-earth, practical store planning and nebulous, blue, sky treatment of the subject.

It often takes an expert to recognize this difference between a workable plan and an impractical "arty" conception. That is why Landers,

Frary & Clark, well-known appliance manufacturers, undertook the development of "Moderneering" the practical store planning program, and turned the planning over to men and organizations whose business it is to know. Thus, the dealer is shown how he can present his merchandise in mass display, and at the same time individualize it so that the prospective store owner purchaser can be sold on a specific model.

In the plan and details worked out here, the flow of traffic from the street to the interior is accomplished  
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# AMERICAN BUILDER TECHNICAL SECTION

**CONSTRUCTION DETAILS** on how to use standard materials to give the most efficient performance in present building and that being planned for postwar.

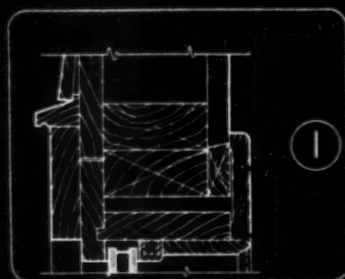
## Correct Methods for Installing Thermopane

**American Builder** has a flood of requests from builders for more information on the use of greater glass areas for postwar homes. Details for installing Thermopane are shown here.

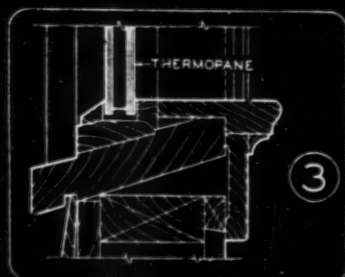
**K**EYED by the same numbers on the elevation shown below on right, the cross sections at left show (1) section of head jam with double Thermopane set in a wide enough rabbet so as not to fit too tight. Bed-putty the sash with a good grade of linseed oil base putty or a good glazing compound, before inserting the unit, for a safe installation. (2) shows section through mullion which indicates hung sash and fixed window. The fixed window has a wood stop on inside set in glazing compound and puttied on outside as an ordinary window. (3) shows section of bottom sill with same type construction as head shown in (1). Due to the greater weight and thickness of this type of glass, the manufacturer recommended that  $1\frac{3}{4}$ " sash be used.

Drawings on left side of opposite page show (1) section at top of fixed window set in rabbet with wood stops on both sides. Here rabbet should be  $\frac{3}{8}$ " in depth for lights under 24" and  $\frac{1}{2}$ " for lights over 24". Clearance of  $\frac{1}{8}$ " on all sides should be allowed for glass up to 80 united inches,  $\frac{3}{16}$ " for glass from 80 to 120 united inches and  $\frac{1}{4}$ " for larger glass. (2) and (3) show side and sill of same construction while (4) shows sill at base of louvered screen and indicates construction to assure insulation and weatherproofing.

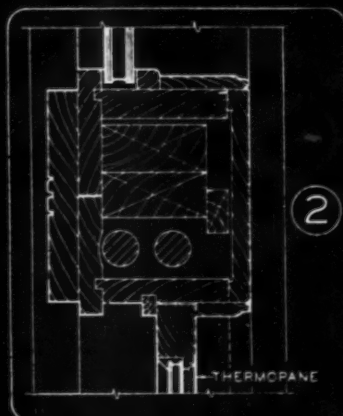
Details on right hand side of opposite page feature different method of handling louvered screen and details of vertical construction on vertical section.



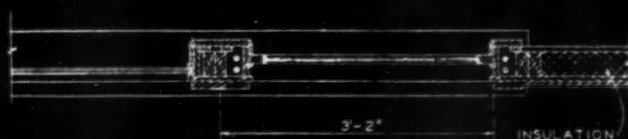
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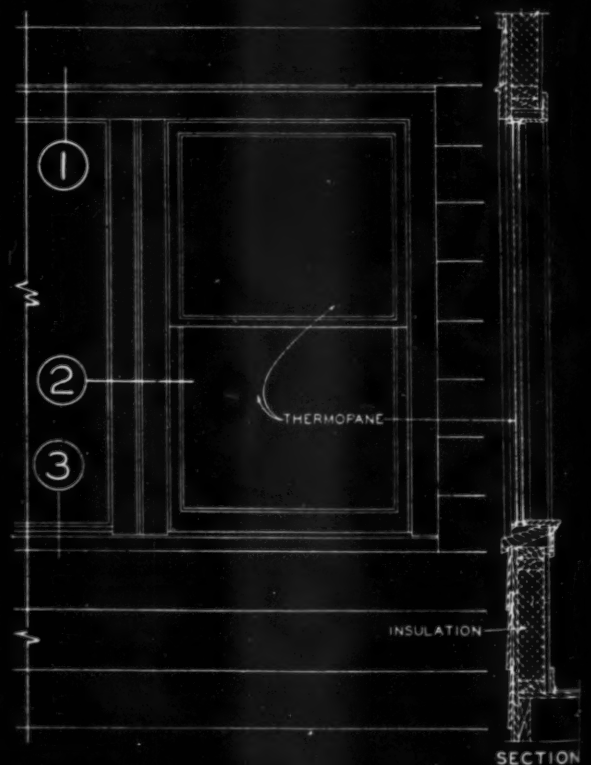
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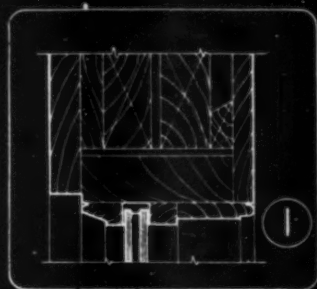
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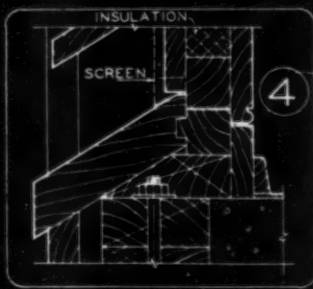
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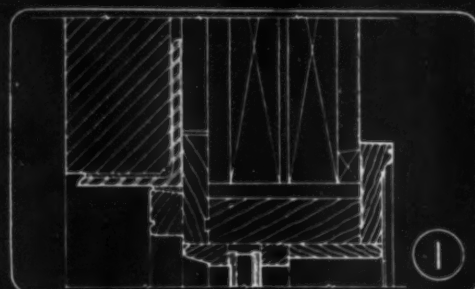
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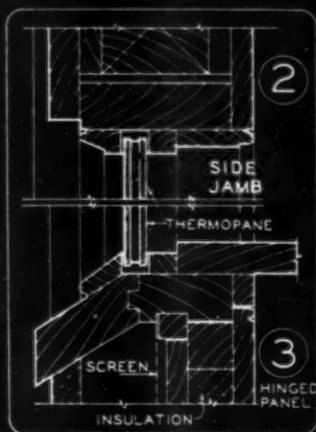
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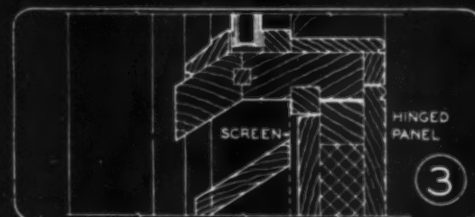


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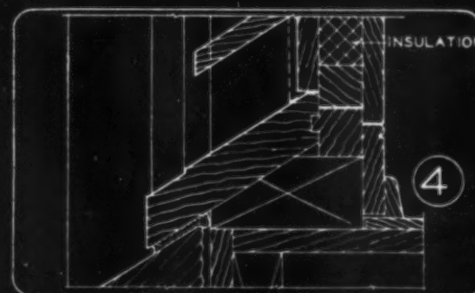


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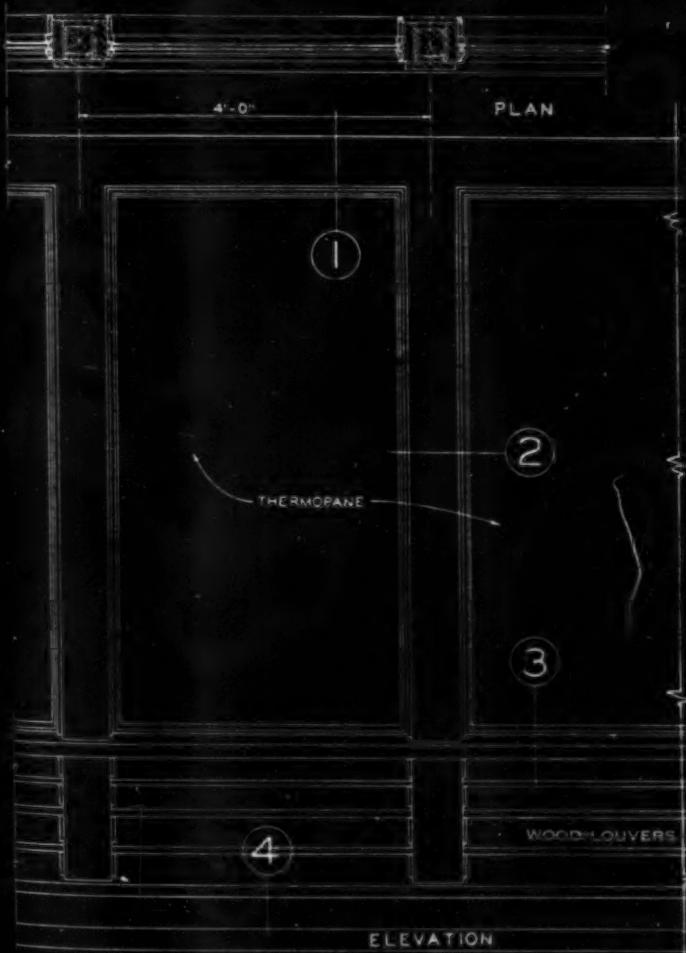
DETAILS for the correct methods of handling this type of double glazing, technically known as air-blanket insulation, were prepared by architects for the Libby-Owens-Ford Glass Company.



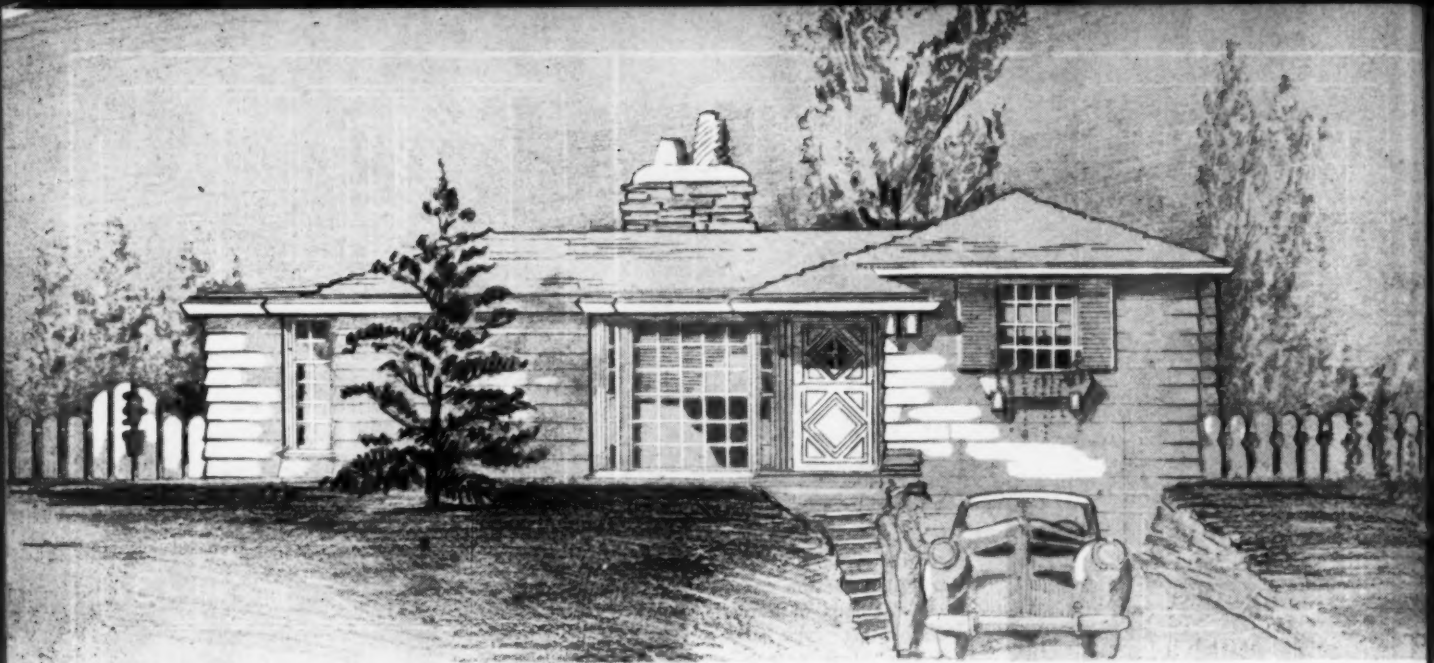
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## "Designed for Happiness" Home Th

**Architect Zook reflects influence of glass manufacturer's educational campaign on design trends.**

**I**N the two houses shown on the pages, architect R. Harold Zook of Chicago has provided a very compact plan for living without crowding.

The plan at left shows the kitchen has access to a screened-in porch—an ideal place for serving meals during the summer. Two steps at the end of the living room lead to a high level which is used as the dining room with easy access to kitchen.

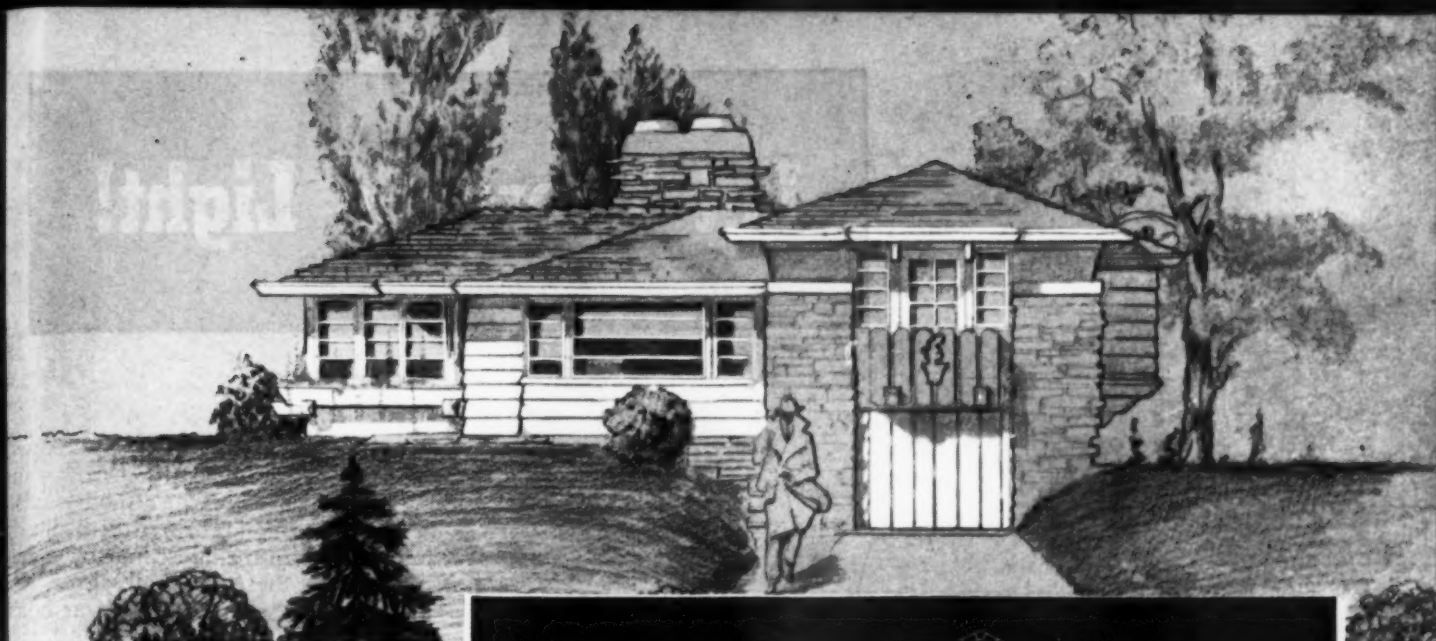
The use of glass block in the bedrooms is a welcome feature, maintaining privacy without sacrificing any light. There is plenty of closet space in the bedrooms, with full length mirrors in the closet doors—a feature now



FLOOR PLAN



REAR ELEVATION



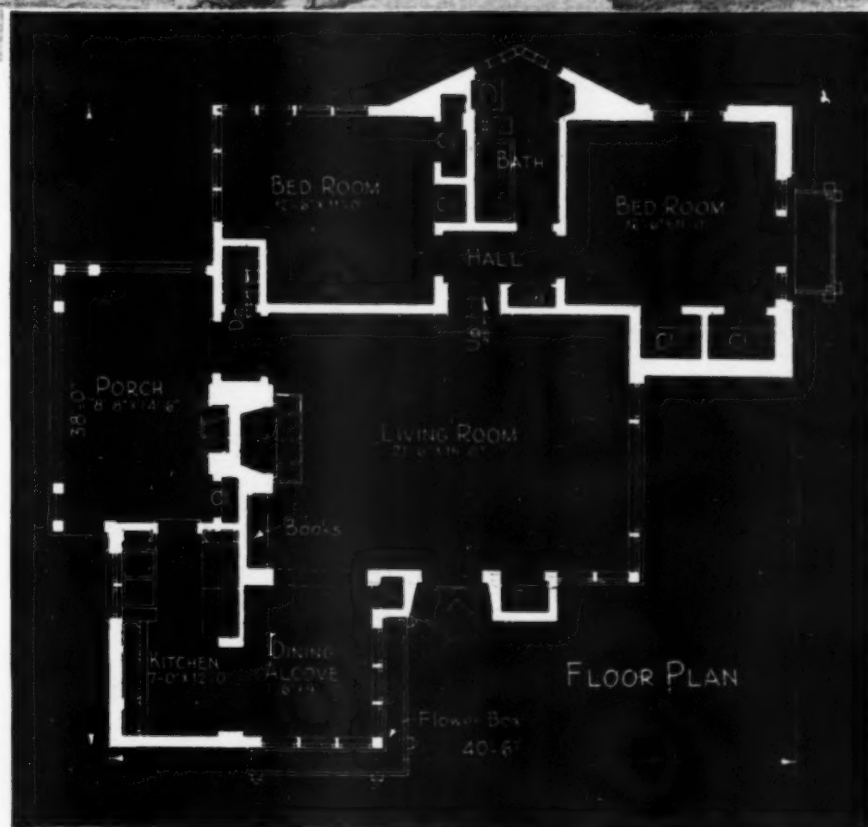
## Throughout

handed by women as a result of the "Designed for Happiness" theme popularized before the war by Libbey-Owens-Ford Glass Company in cooperation with FHA.

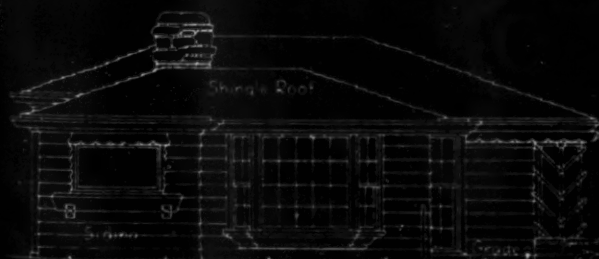
The location of the garage, under the bedrooms, with entrance directly into the house, makes it unnecessary to go outside when using the car.

The plan on the right has a dining alcove off the kitchen, with porch arrangement as offered in first plan. Again glass block is specified for bath lighting.

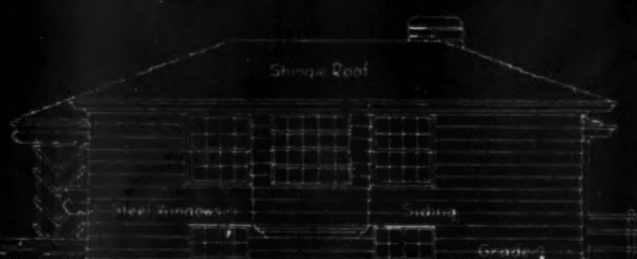
Exposed rough rafters in the living room will please many prospects whose home building dreams encompass the taste for an English atmosphere. A generous use of windows in both of these designs adds to the home and furnishes light and air for comfortable living. While these are unusual in design, they are not extreme and will find popularity in any community.



Floor plan above shows dining alcove off the kitchen, with screened-in porch for summer meals. Note generous closet space and use of windows.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

# Let There Be Light!



UNIQUELY designed, this studio-bedroom is sufficiently lighted and has a comfortable, decorative atmosphere. Fluorescent fixtures at ceiling, concealed behind window valance, above bookcase, give soft illumination.

COMBINATION of fluorescent and incandescent lighting provides good light for reading. Pleasing atmosphere and decorative effects come from smart placing of fixtures.



THE men who will build America's new homes tomorrow—and the men who will remodel existing homes and bring them up to scratch with the latest improvements—these men all agree that one of the "musts" in postwar housing is good lighting. There is a wide area of disagreement on the part prefabrication can play; on the number and quality of labor-saving devices and appliances that the modestly-priced home can afford; on the value and stamina of new materials on the basementless house; on new trends in design and new methods of construction. But everyone in the building field agrees that Mr. and Mrs. John Q. Homebuyer of tomorrow will demand, and be entitled to the best in improved lighting. And the same goes for Mr. and Mrs. Homeowner of today who will want to rig out their present substantial quarters with all the latest improvements that come within hailing distance of the budget.

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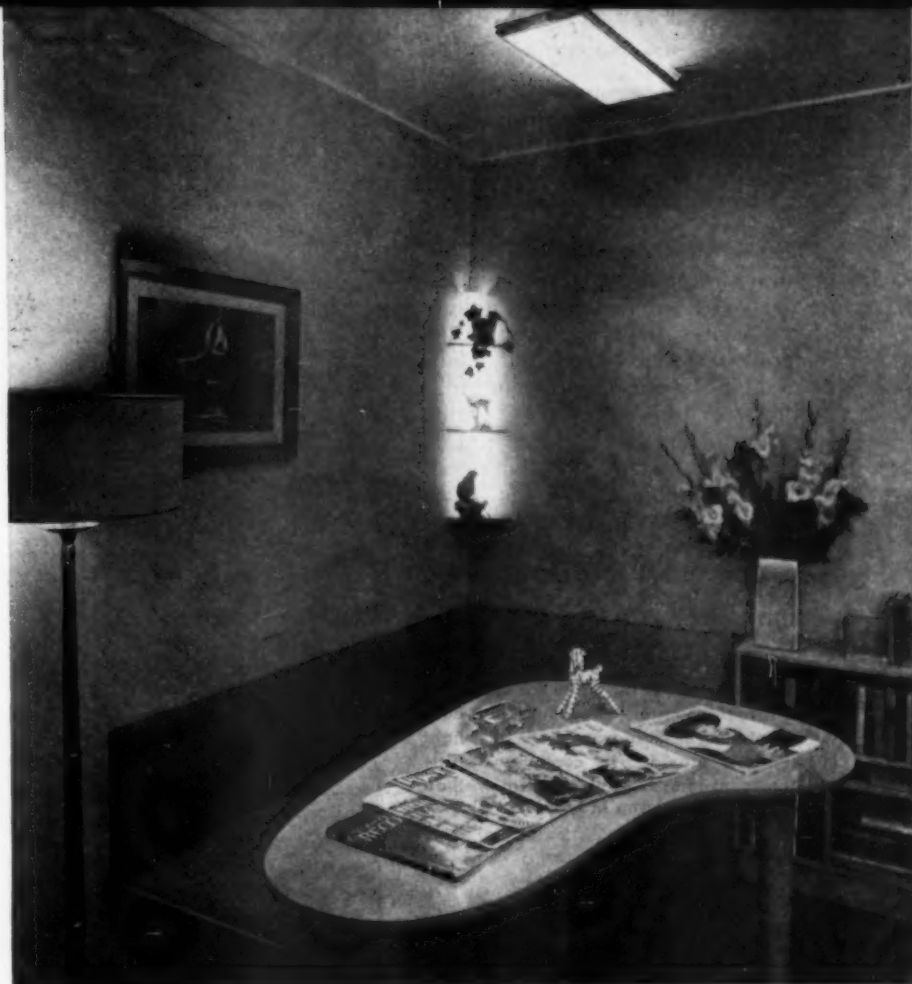
**And there will be. Postwar American homes, new and existing, will benefit from engineering advances in lighting made during the war**

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Particularly helpful to the on-his-toes builder and contractor, whether of new homes or specializing in modernization, are the exhibits in Sylvania Electric Company's new Lighting Center, recently opened at 500 Fifth Avenue, New York City. Designed to act as a continuing practical laboratory, the Center comprises five rooms—living room, studio-bedroom, kitchen, bath, and "office-type" den.

Few "built-in" fixtures of the custom-built type are used. Instead, maximum use of existing wiring is stressed, by connection with normal outlets, or by tying in to normal wiring facilities. The manner in which this is done provides a forceful illustration of the adaptability of modern lighting to existing homes. Proves, also, that it can be acquired bit by bit, and without great cash outlay.

**UNUSUAL** lighting effects worked into bookcase pictured below. Through use of frosted glass panel, highlights enter center shelf. Lower light is adjustable for good reading.



**IN LIVING ROOM** above note fluorescent ceiling fixture and decorative corner fixture.

**BELOW:** Interesting effects achieved with use of fluorescents on glass brick in corner.



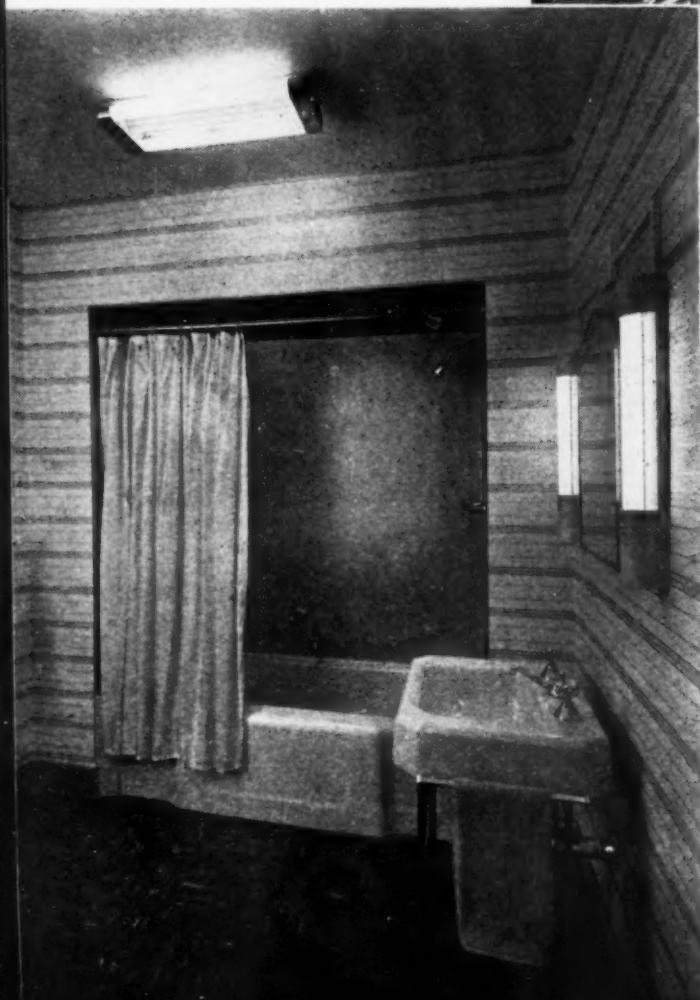
Designers and promoters of the product have been very conscious of the huge market offered by present home owners for installation in sound houses with many more years of life.

The fixtures themselves are simply designed, and in marked contrast to the old-fashioned, dust-catching ceiling center lights that were the fashion some years ago. Flat, sand-blasted glass shades fluorescent bulbs in the type of center-ceiling lights featured in most of the rooms, and in several instances, fluorescent lighting is combined with the better sort of incandescent, to the benefit of both. The expected sudden dark areas—very harmful to the eyes, that

*(Continued to page 132)*

**KITCHEN** at right is designed for efficiency and a bright, cheerful atmosphere. Soft light with minimum of shadows where best light is needed is provided by continuous strips of fluorescent lamps. Notice end of wall-attached fluorescent lamp in breakfast alcove.

**COMPACT** central fixture in bathroom provides a soft, cool, and shadowless light throughout, an atmosphere of cleanliness. Lamps on either side of mirror can be serviced from normal outlets, or from one outlet by use of connecting unit above mirror.



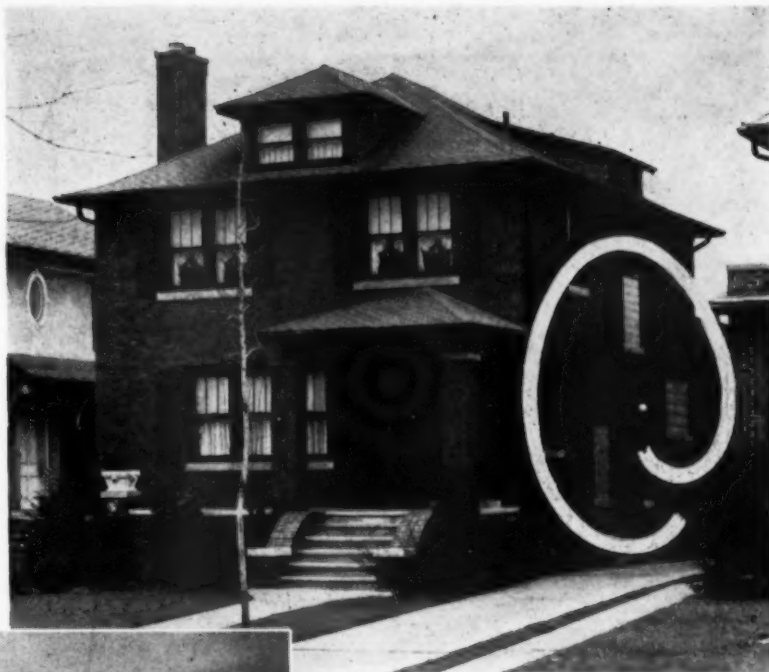
**PLACING** of fluorescent lamps throughout room accents good features of reception room. Corner in back of desk made attractive by use of fluorescent lamps in recessed light box built into cabinet.

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## Here's a Job of Modernizing That Can Be Done Now

**Part of the expected billion-dollar - a - year remodeling market can be tapped now to start bringing old houses up to date; materials available.**



**ABOVE:** Well-built old home in Detroit was made much more livable with glass block panels in kitchen, lavatory and at stair landing. **LEFT:** Additional panels in living and dining rooms let in plenty of light, obstruct view from closely placed adjacent houses.

**T**ENS of thousands of old houses need more daylight. Materials are available to do this work. Here's how you can sell and handle a profitable remodeling program on such jobs in your community today.

As a starting point in bringing houses up to date, more light and less heat loss through glass areas has an immediate sales appeal. The Detroit home, above, has just been given that treatment. On this job certain other work was done at the same time, but if some equipment and materials cannot be found, that portion of the job can be delayed until later.

Like many houses of its vintage, this 35-year-old home is a sturdy, well-built brick structure; but was "dated" by inadequate window areas which made rooms dark and gloomy. Even the kitchen and dining rooms,

with western exposures, lacked enough daylight.

To attack the problem of dinginess on the first floor, a large picture window was installed in the rear dining room wall, thus adding a view as well as maximum afternoon sunshine. The adjoining kitchen was given a different treatment; two small side windows, facing a neighbor's house across the driveway, were ripped out and replaced with an attractive panel of Insulux glass block.

This installation floods the kitchen with good northern daylight—at no sacrifice of ventilation which is provided by a rear window. Privacy, too, is maintained since glass block is translucent without being transparent. Window shades, which were always kept at half mast, were completely eliminated. With modern

plumbing and kitchen equipment, this room was neatly brought up to date.

In the living room, which faces east and the front street, glass block again banished gloom. By replacing two windows, flanking the fireplace, with the light-diffusing panels, the couple has achieved bright, cheerful light which was never before possible because the windows always required heavy curtains for privacy.

On the traditionally drafty stairway of a house of that age, the contractor made another typical installation of glass block—by replacing a window at the landing. This installation provides plenty of light while excluding dust and dirt which had always infiltrated the window frame. Another need for curtains and shades was thus eliminated.

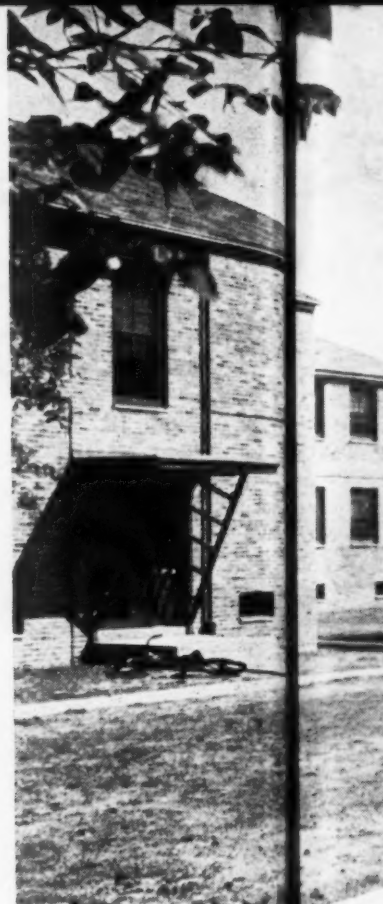
To complete the job, simple glass block panels were installed in the bathroom and downstairs lavatory.

In adding up the cost of their venture in bringing an old but comfortable home up to date, the owners have found that eventually the project will practically pay for itself. For along with the savings in fuel and electricity, credited to glass block's insulating and light-transmitting qualities, they can count on permanent trouble-free service which cuts the home's over-all maintenance costs. And in the bargain, they have a 1910 home that's quite modern.





BUILDER LEFTON greets customers in attractive office above, located on Elinore Park tract



LARGE play courts obtained

## ***"Built For The Ages --- And Not Just for the Deal"***

**Ben Lefton, young Cleveland builder, has built war housing, both singles and rental units, which will long outlive the war, be a permanent addition to private housing**

**H**IGH on the list of war housing projects to which builders may point with pride postwar, are those of Benton Lefton in Cleveland and Euclid, Ohio. Particularly attractive are his 300 single-family homes in the Elinore Park Subdivision, and his 167 rental units on the shores of Lake Erie in Euclid.

This enterprising young builder—just treading into his thirties—is a graduate architect from the University of Virginia. After preliminary work in the offices of several architects, he began to design and build homes in the higher priced bracket; but he soon branched out into the low- and medium-priced fields. His aim has been and is to provide better-designed and better-built homes, in whatever bracket he operates.

In Lefton's operations, he starts with raw acreage. He takes care of the over-all supervision of the project, but he gives full credit to his associates, Fred Abendroth, who does the architectural site planning and designing; and to James Lister, who is in charge of planning his landscaping.

By starting from acreage, he finds he can completely control the design and development, as well as the construction and sale, of the entire tract; and can use every house location, as well as every variation of house plans to the fullest advantage.



WHEREVER possible Garden Homes Estate Apartments were laid out to take advantage of existing trees for shade and beauty.



courts obtained by grouping of Garden Homes Estates units.

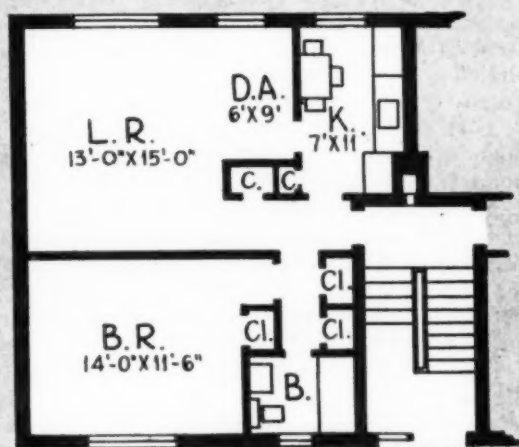
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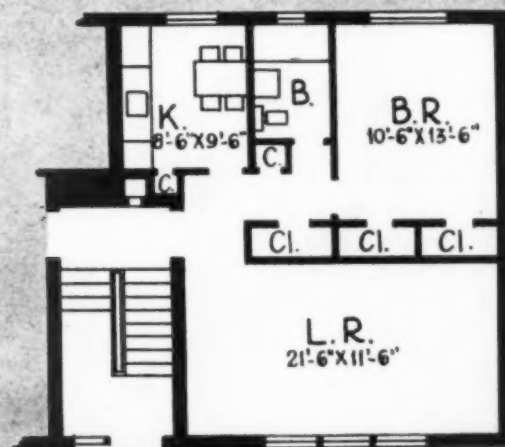
ABOVE: Benton Lefton. "A" type suite below features dining alcove; "B," longer living room.

Lefton's Garden Homes Estates project, an extraordinarily attractive rental development on the shores of Lake Erie, will be a consistent and steady renter for many years to come. And the reason is that, to quote a favorite phrase of mortgage bankers, "it was built for the ages and not for the deal."

Into it has gone all the care and experience that Lefton and his associates could bring to the undertaking; and the result is a set of 22 buildings, each containing from four to ten suites, which are both attractive to the eye and planned for pleasant living. About one half the units are



"A" TYPE SUITE



"B" TYPE SUITE



## War Rental Units By Private Builders

the one-bedroom type, and the remainder have two bedrooms. All are heated with a forced hot water two pipe system, thermostatically controlled, from six heating plants located in basements throughout the project. The site's fifteen acres include 600 feet of beach frontage, and

**GARDEN HOMES**  
Estates' apartments  
give big living areas.



is close enough for travel to Euclid's war plants, while far enough away to avoid unpleasant physical effects of such proximity. Rents, which include janitor service and all utilities, are \$62.50 and \$68 per month.

The dignity, the attractiveness, and the long-term value inherent in Garden Home Estates lend emphasis to Lefton's profound belief in "starting from acreage" and controlling the entire operation himself. That, plus the fact that he and his staff bent every effort to get the best materials available, makes for security and assured income from the units for many years after the war. Included in the project, which is of all masonry construction, are:

- Tort automatic lighting switches for public halls and outside lighting; circuit breakers in each suite, to eliminate fuse boxes;

- All-tile baths; complete General Electric Kitchen including range and refrigerator; incinerators;

- Storm sash and screens throughout;

- Galvanized iron gutters and downspouts;

- Detailed millwork and prefinished oak flooring throughout.

Ben Lefton lives with his job, literally, with his office at the site of his single-family project. In his planned post-

**KITCHEN** in Garden Homes Estates units feature complete General Electric units, with service items lining one wall.

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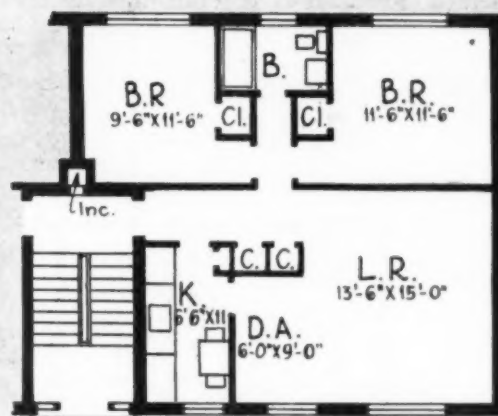


ABOVE, typical four-unit building in Garden Homes Estates.

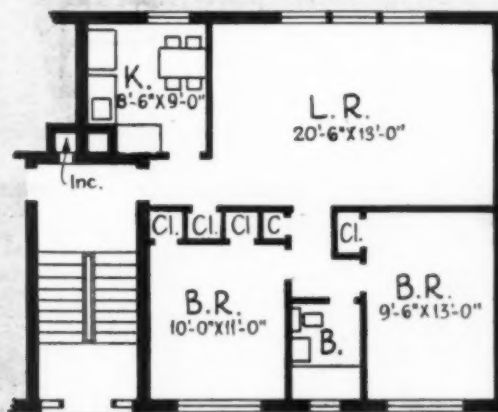
war operations he can always point with pride toward the firm and lasting contribution he has made not only to the war housing problem's solution, but to the general supply of housing, in the Cleveland area.



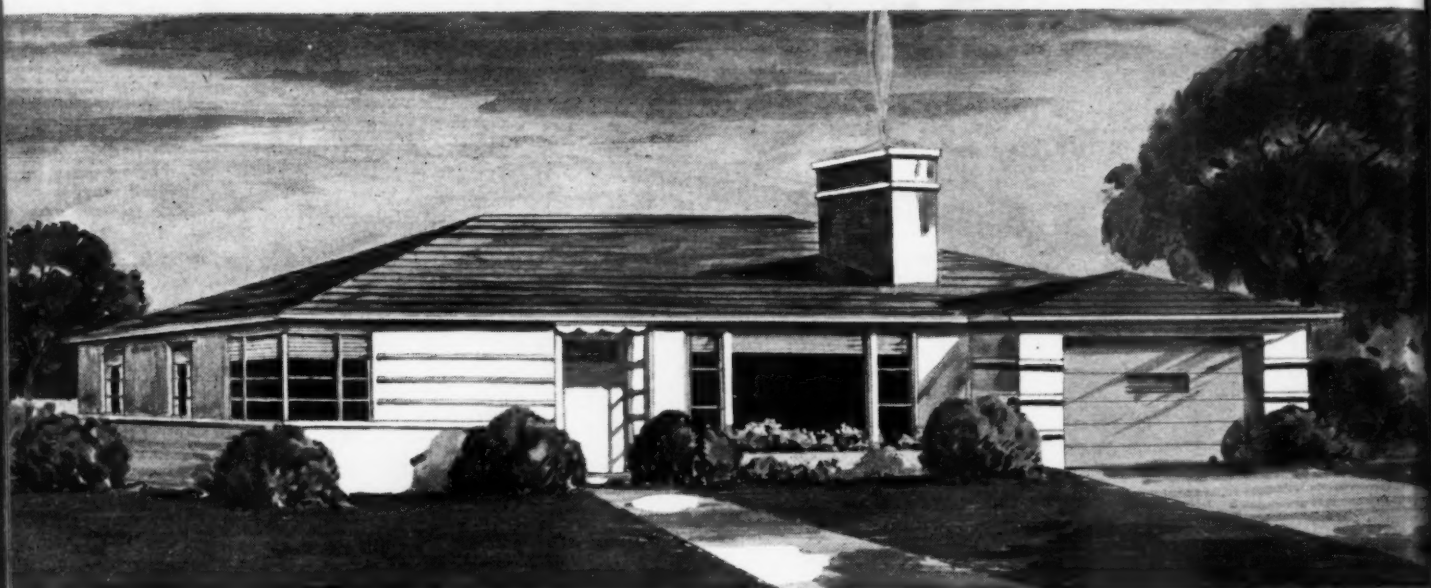
ABOVE, exterior view of Builder Letton's office. Right, dining alcove in "C" type two-bedroom unit might be considered as part of extended living room. There is no break for alcove in "D" type unit. These have wider kitchens, allowing sufficient room for dining.



"C" TYPE SUITE



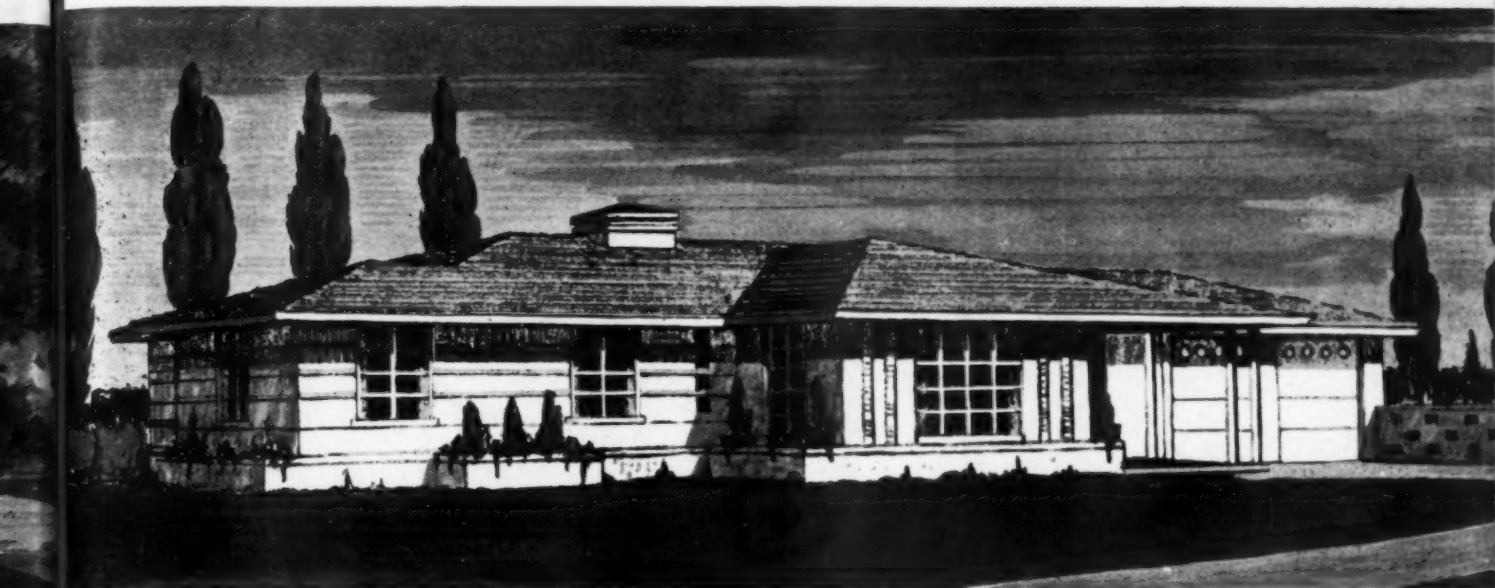
"D" TYPE SUITE



## Two Popular Ranch House Homes—One for

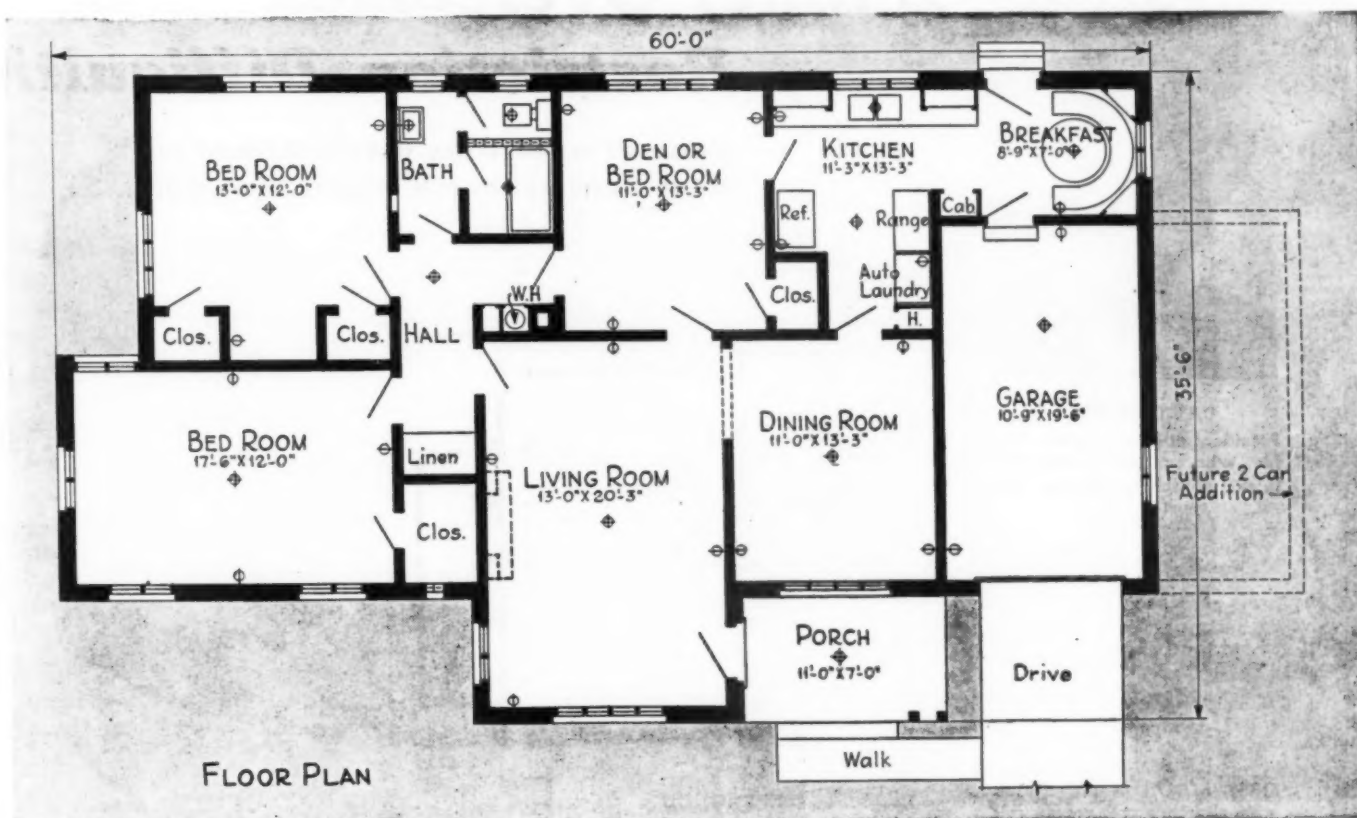
**T**HIS six-room design was planned for the Albert Arnold Corporation, builders, by Karl R. Habermas, architect. It is to be built in Birmingham, Mich., and the compact layout is ideal for this northern site. Large window areas are in keeping with modern styling and postwar demands for adequate daylighting. There are six closets, good cupboard space, with additional storage and work area in the basement.



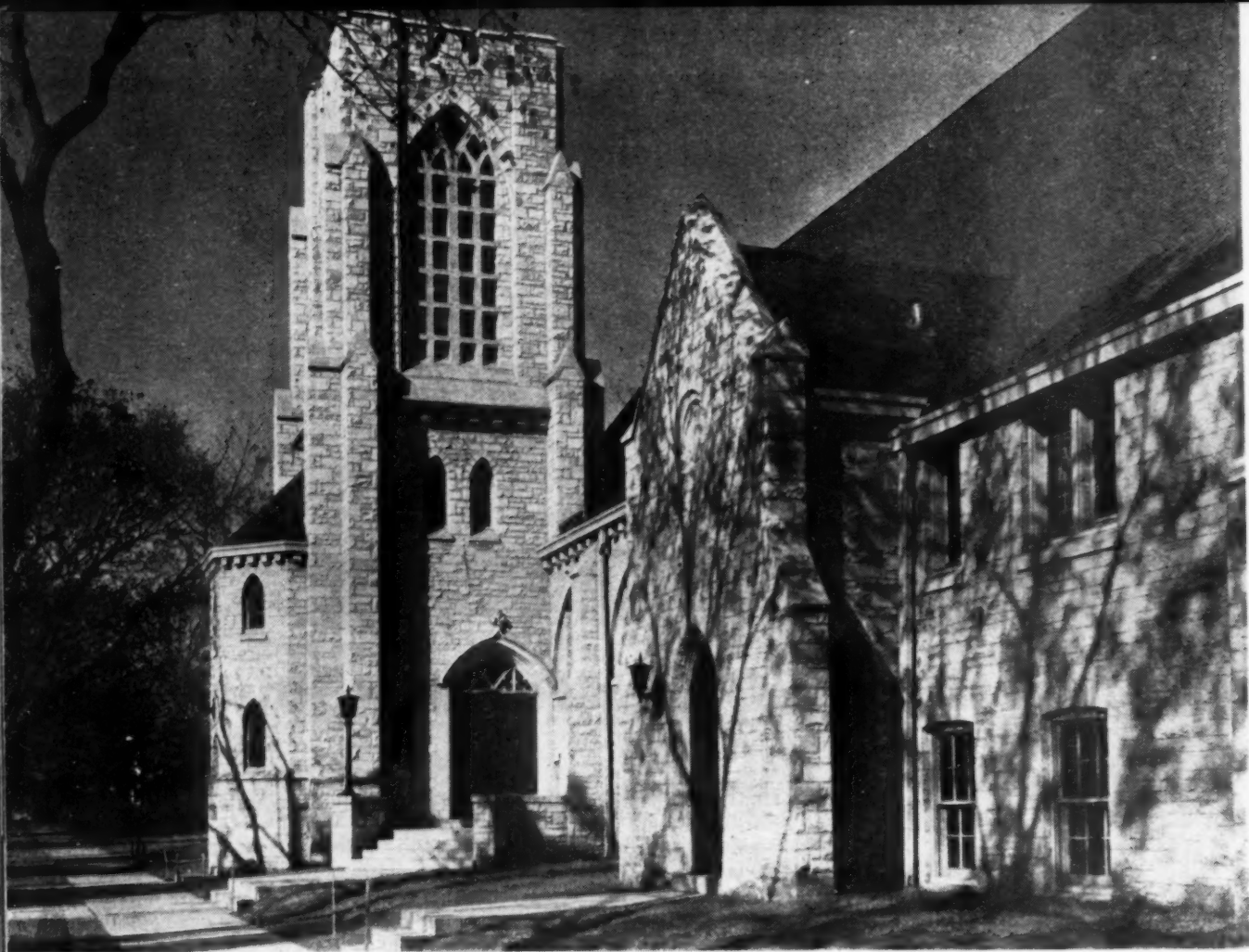


## ne for the North, the Other for the South

**I**N contrast to the design shown opposite, this postwar home to be built in Oklahoma City, by Builder Ben C. Wileman, is much more spread out and has wide eaves for sun protection. Architect Albon W. Davis planned it without basement. However, it is interesting to note the general similarity between this southern design and the northern ranch house—the third bedrooms can also serve as dens; both feature built-in garages. Note in the plan below the clever arrangements of the compartmented bath and the combination laundry-kitchen. Breakfast nook is segregated yet conveniently located.





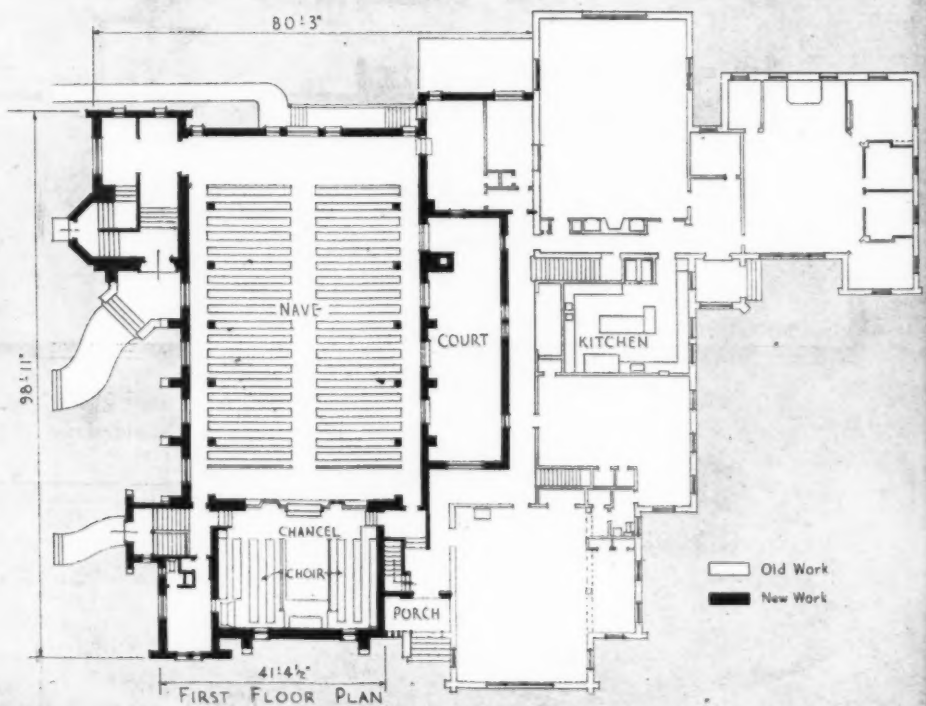


**DAVID GOWDY**  
President of David Gowdy Co.  
Inc., who overcame difficulties  
in this church remodeling job.

**FIRST FLOOR** of the church  
with church nave, cradle roll  
classroom and beginners de-  
partment. Also shown is pas-  
tor's study, office and parlor.

## ***Builder Overcomes Restriction Difficulties***

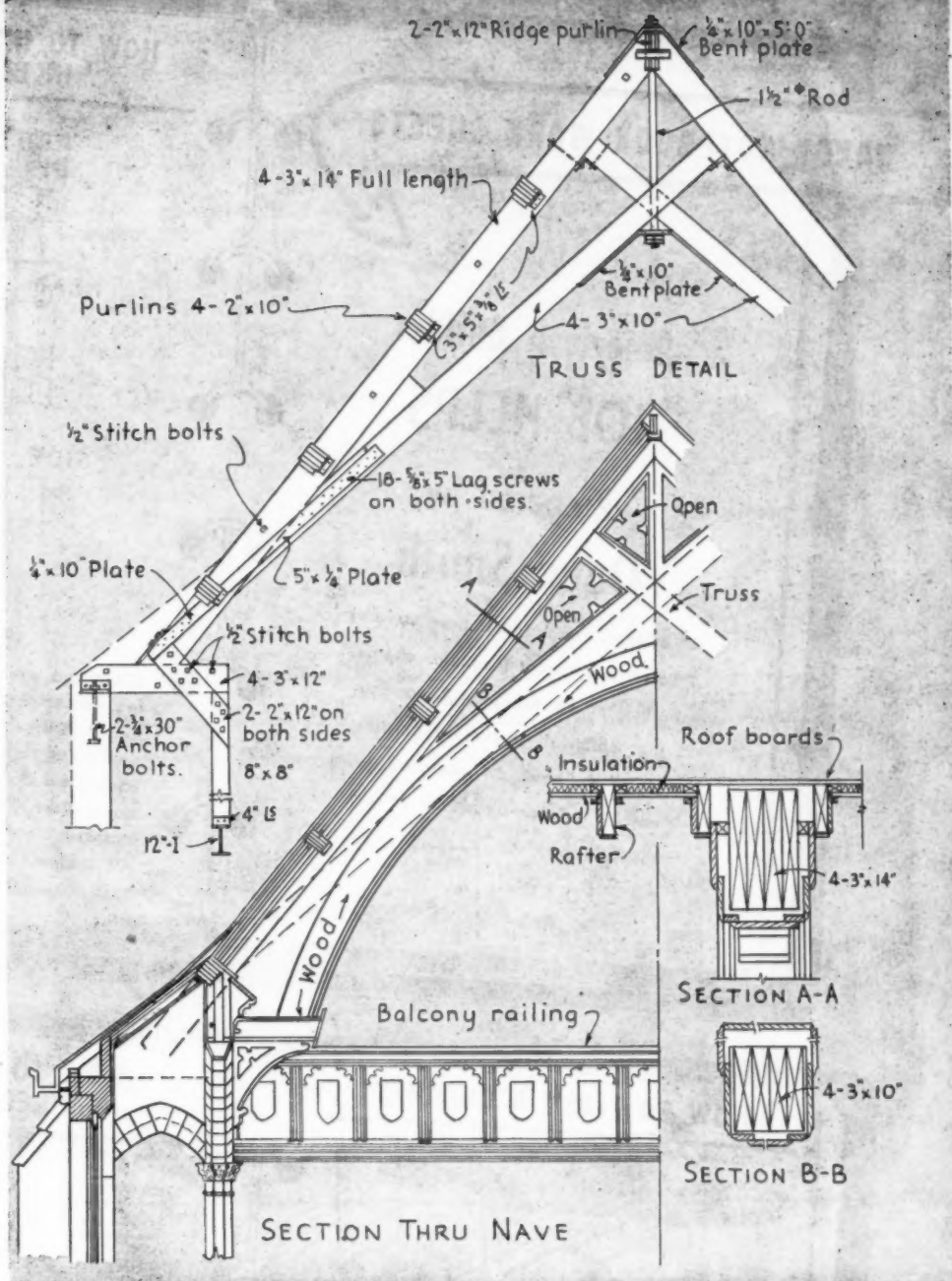
**Unusual wood truss details helped to  
solve wartime church construction job.**



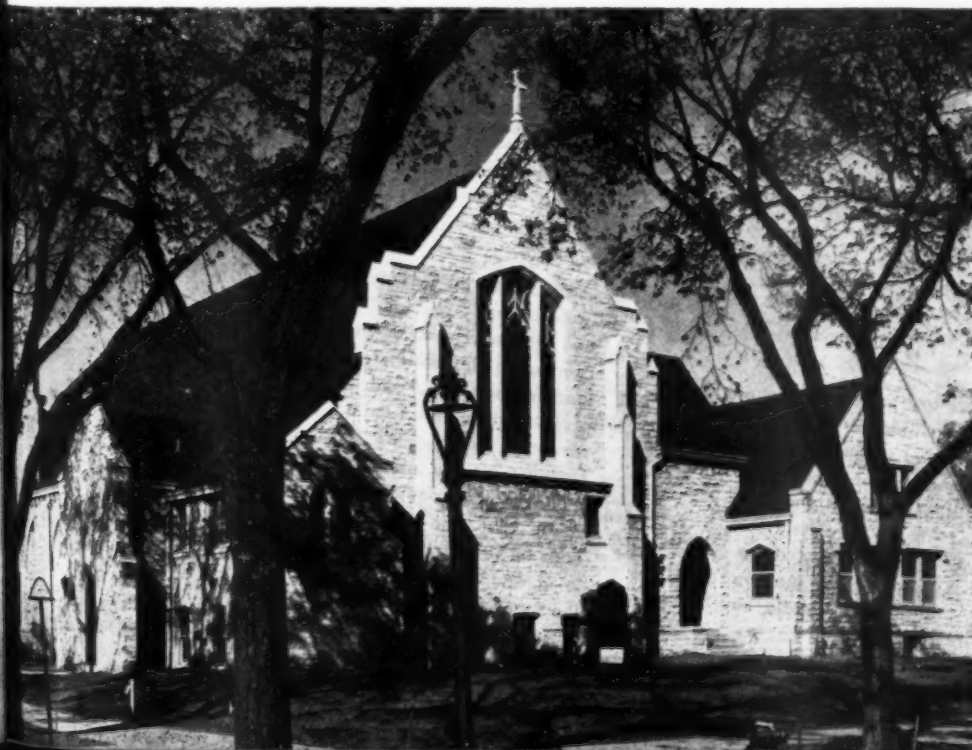
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THE necessity for making the most of the materials at hand has brought about some unusual applications in the building field. One example of such ingenuity is shown in the truss details at right. Constructed on the job site, these trusses are 36 ft. long of four pieces of 4" x 14" laminated. The scissors part of the truss consists of four pieces of 4" x 10" laminated, 27 ft. long. At the top of the truss there is a two-inch diameter rod, 10 ft. long, tying the main timbers together. From the floor to the peak of the truss is 50 ft. The trusses weighed a total of four tons when completed. The building was designed by Hugo C. Hauser of Milwaukee, and the work contracted for by David Lowy of Chicago. Consisting of ground floor, first floor and second floor, there are about 40 rooms throughout. Architecturally, the new building follows the English Tudor Gothic style, faced with Lannon stone.

On the opposite page will be found the first floor plan, showing layout including church nave, new kitchen with dumb waiter connection to basement dining room, Cradle Hall classroom and the Beginners department. Also on the first floor are the pastor's study, church office and parlor. The floors throughout the first and second story rooms are covered with warm colored asphalt tile, which insures quiet and ease of maintenance. A new forced air heating and ventilating system is provided for the entire building. The furnace equipment is located on the ground floor, enclosed in a fireproof space outside the area of the sanctuary.



TRUSS details shown above illustrate use of scissors-type truss, with steel rod tying timbers together. The distance from floor to the peak of the truss is 50 ft.



ANOTHER view of the church after remodeling is shown at left.



## HANDY NOTEBOOK WORK SHEETS

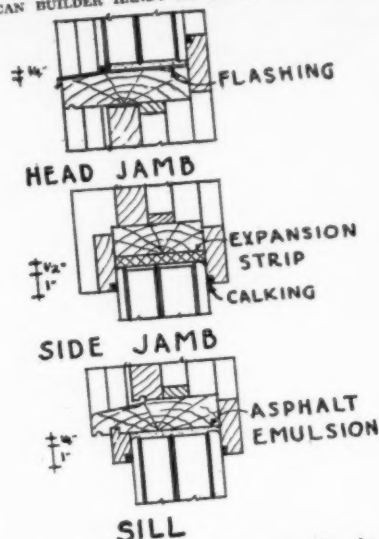
### American Builder JOB HELPS

Prepared by  
**Dave Smith**

Builders' short cuts, time savers and how-to-do-it ideas for use in office or on the job. A continuing editorial feature appearing monthly. Sheets or notebooks are not for sale or available in any other form.

## HOW TO INSTALL VENT SASH IN BLOCK PANEL

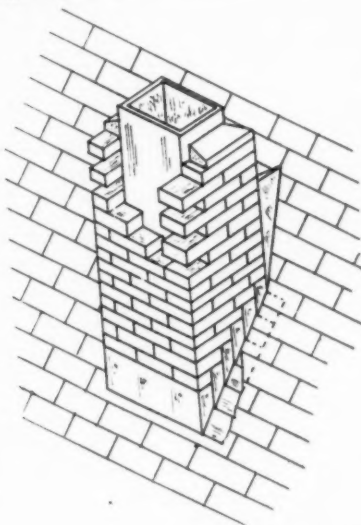
AMERICAN BUILDER HANDY NOTEBOOK WORK SHEETS



There is a wide market for conversion in removing depreciated metal and wood window openings and replacing with glass block. Installing ventilating wood sash in the glass block panels should be done as directed in the detail. For trouble-free installations get a copy of manufacturers' specifications, and follow carefully. All features such as calking, expansion strips and flashing must be installed as directed.

## HOW TO FLASH A CHIMNEY

AMERICAN BUILDER HANDY NOTEBOOK WORK SHEETS



A great many leaky roofs are traceable to improper flashing around the chimney. Tin flashing shingles should be bonded in on each side of the chimney starting at the bottom and working up for overlap. Other important features of good chimney construction are to extend the chimney at least 24" above the highest ridge, finish with a beveled cement cap at the top around the flue lining and build a saddle on the upper side of the flue as detailed.

## HOW TO FIGURE LINTEL REENFORCING

AMERICAN BUILDER HANDY NOTEBOOK WORK SHEETS

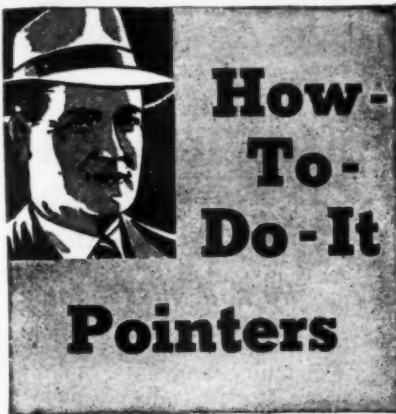


### SUPPORTING 8-INCH MASONRY WALLS

Size Of Lintel, Width x Depth	Span (Width Of Opening)					
	2'-4"	3'-0"	3'-10"	4'-6"	5'-2"	6'-0"
No. and Size of bars	No. and Size of bars	No. and Size of bars	No. and Size of bars	No. and Size of bars	No. and Size of bars	No. and Size of bars
6" x 8"	2-3/8"	2-1/2"	2-3/4"	2-3/4"	2-3/4"	2-3/4"
8" x 8"	2-3/8"	2-1/2"	2-1/2"	2-3/4"	2-3/4"	2-3/4"
8" x 10"	2-3/8"	2-3/8"	2-1/2"	2-3/4"	2-3/4"	2-3/4"
8" x 12"		2-3/8"	2-1/2"	2-1/2"	2-3/4"	2-3/4"
8" x 14"		2-3/8"	2-1/2"	2-1/2"	2-3/4"	2-3/4"

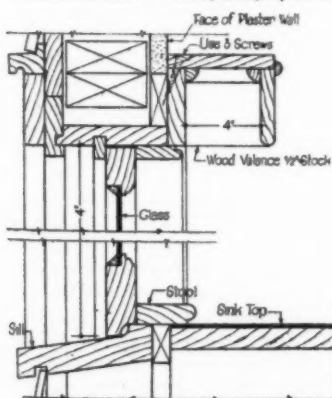
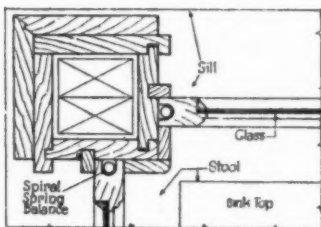
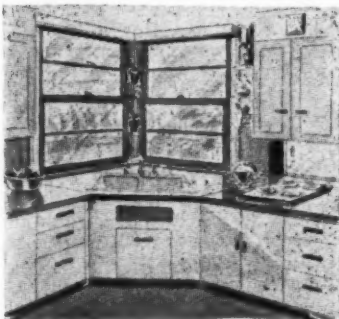
Loads supported by lintels are difficult to definitely determine. The load depends upon the location of openings above the lintel, upon the loads coming on the wall above the lintel, if it is a load bearing wall; and upon the arching action of the wall material itself. For this reason conservative assumptions have been used in preparing the table, and it should be adequate for any average condition. All bars specified are round bars and they are to be hooked at the ends as shown in the sketch. When the opening is of another size than those in the table, use the figures given for next largest opening.





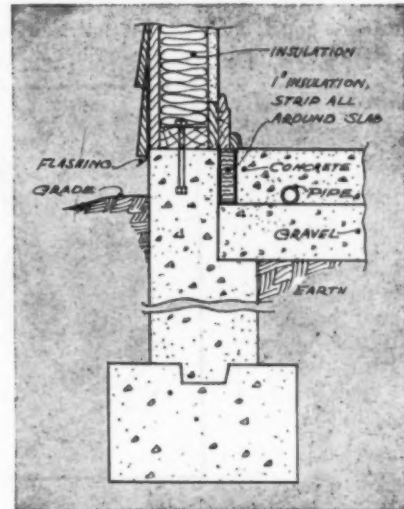
### How to Build a Kitchen Corner Window

IN CURRENT remodeling work, a corner window will frequently allow better wall space in the kitchen. Also the sink can be placed beneath for plenty of light and view. This is pictured below, with construction details. The corner framing is enclosed with window frame, which requires a spring balance or similar sash retaining device. Section shows handling of valance and sink top at window sill; horizontal muntins add modern touch.



### How to Insulate Radiant Heating Slabs

BECAUSE of the large heat loss that can occur edgewise through a concrete slab used in connection with a radiant heating system, the following practice is advisable. The greatest losses from such slabs have been demonstrated to be through foundations and footings. The sketch at the right shows a 1-inch insulation strip all around the edge and extending from the floor surfaces to the top of the gravel fill. This breaks the continuity of the slab and eliminates the high conductivity at this point. The Portland Cement Association recommends this practice to get the needed insulation quality.

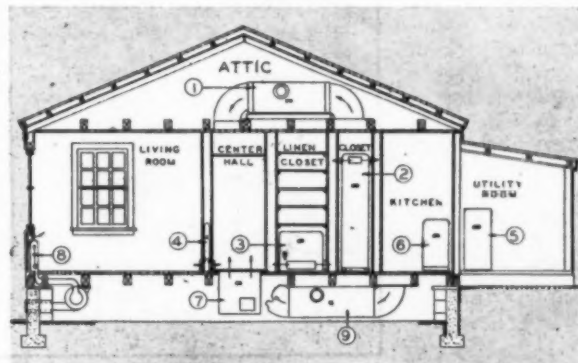


### How to Mix Concrete for Various Purposes

Kind of Work	Approximate Mix by 4 Damp Loose Volume			Size of Largest Aggregate Particles Inches	Best Consistency	Water for 1-Bag Batch		Approx. Yield	
	Cement Bags	Sand Cu. Ft.	Gravel or Stone Cu. Ft.			Max. Total Gal.	Add at Mixer Gal.	Concrete per Bag Cement Cu. Ft.	Cement per Cu. Yd. Bags
Foundations, Footings, Mass Concrete	1	3	6	2	Medium	7.5	5.4	6.7	4.7
Basement Walls in Dry Ground	1	2½	4	1½	Medium	6.5	4.8	4.8	5.6
Basements in Wet Ground, Water-tight Work	1	2	3½	1-1½	Medium	5.5	4.1	4.2	6.5
Reinforced Concrete Columns, Beams, Slabs	1	2½	3½	¾-1	Soft	6.5	4.8	4.8	5.9
One-Course Sidewalks, Floors on Ground, Driveways, Steps	1	2¼	3¼	1-1½	Stiff	6	4.5	4.3	6.3
Small Precast Work, Posts, Lintels, Sills, Thin Sections	1	2	2¼	¾-½	Soft	6	3.7	3.5	7.7

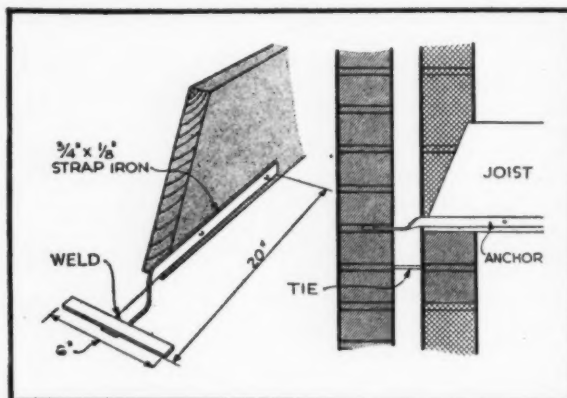
### How to Heat Basementless 1-Story House with Gas

THE drawing below shows 9 different ways to install various types of gas-fired heating equipment in a 1-story house without basement. Most of these are space saving, and include (1) attic unit (2) narrow vertical type of closet unit (3) new type of lo-boy unit to fit in bottom of small closet (4) new thin unit between partitions (5) utility room furnace (6) kitchen unit for either forced warm air or boiler heat (7) floor furnace (8) individual fired radiator (9) under floor unit, similar to attic type and reversed for this location.



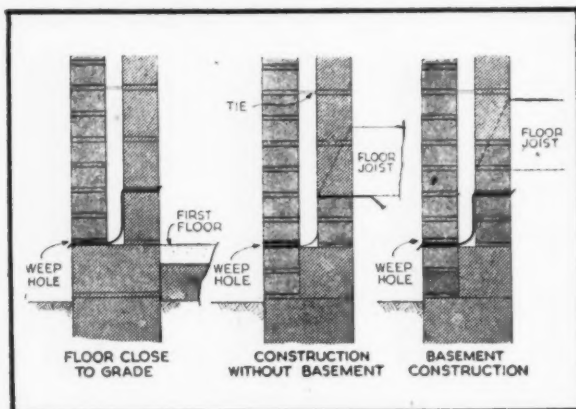
### How to Anchor Floor Joists

AS SHOWN in the drawing at the right, floor joists in cavity wall type masonry construction must not project into the cavity. Otherwise they might form a ledge that would catch drops of mortar and thus form a moisture bridge. Joists should have a 3" fire cut and every 4 joists should be rigidly connected at the wall with wrought iron angles in the outside shell. Regular metal ties should be placed within 8" of the bearing level of the floor joists, 2' on center.



### How to Place Weep Holes in Cavity Walls

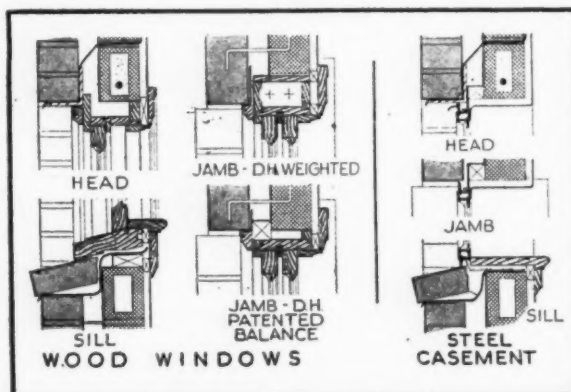
WEEP holes are needed in masonry cavity walls to assure proper drainage of any condensation or penetrating water, and to keep the bottom of the wall dry. They are located in the vertical joints of the bottom course,



and are spaced 2' apart. They are usually formed with 3/8" oiled steel rods or short lengths of rubber hose which may be withdrawn after the mortar has set. The drawing shows location for 3 types of construction. Also notice the through wall flashing that deflects any cavity water to outside.

### How to Install Windows in Cavity Walls

EITHER wood windows or steel casements in regular stock sizes can be used in cavity wall construction; also it is not necessary to use special frames. The details here indicate recommended installation practice. Solid masonry jams should be avoided so that the air space is maintained throughout the wall. Proper flashing is essential to deflect any accumulating moisture. Metal ties should be placed not farther than 8" from all window and door frames.



## Another of

### Details of Most Frequently Used Types of Dormers

By R. J. Alexander

THE major source of design difficulty and later maintenance trouble is to be found in the styling and construction of dormers. This month's Better Detail Plate indicates proper handling of the common types adaptable to various architectural styles.

The lift dormer or shed roof type is probably the most frequently used, particularly on Dutch Colonials and Cape Cods where they are needed to provide ample second floor area. To look right and function properly the roof pitch should not be less than a six-inch rise per foot with wood shingles. This is shown in the cross section; note metal flashing at sides and front.

The roof dormer or gable dormer is used in many Colonial designs but often ruins the styling because of poor proportions. The same construction precautions are required as in the lift dormer.

The third style is the recessed roof dormer which can be a major problem if designed and constructed improperly. Around the recess a very careful job of flashing and decking is essential, particularly in areas subject to heavy snowfall and driving rains.

The eyebrow dormer was formerly quite popular, but has now become almost obsolete except as used on low hipped roofs for ventilating attic space.

The cornice dormer shown here was used with the once popular English designs calling for half timbering on second floor. Now when found, it is given Colonial lines and usually broadened enough to take shutters. Because of the breaks in the cornice the increased cost in using this type is seldom warranted.

The wing dormer allows the largest amount of window area of any of these types. For this reason it is useful in remodeling. For a room to be added under the roof it will provide the greatest amount of daylight and ventilation. As a general rule, avoid dormers whenever possible.



Nº D-8. DETAILS OF DORMERS.





# Nelson Calls for More New Homes As Only Way to Counteract Inflation

**T**HE National Association of Real Estate Boards has called upon the government to release more materials for house construction, and charged that aid, assistance and materials needed for homes are going instead to big manufacturing and industry.

"We must be permitted to build more houses. This is the real solution to all the housing difficulties—and the only one that will do the job," Herbert U. Nelson, executive vice president of the Realtor group, said.

"If the government would concentrate on making more house building possible, we could rapidly relieve pressure, cut down the so-called 'evictions' that OPA is worrying about, and taper off prices.

"So far, the only proposals that have been advanced have all been negative. It is about time some-

thing positive was done, instead. It would be positive to get more houses built and could correct conditions about which complaint is being made."

Taking exception to the proposals advanced for freezing occupancy of tenanted houses for six months, and for increased down payment for house sales, Nelson declared that these would be repressive measures only, and would not provide the additional housing that is needed.

"Present difficulties stem from one thing, and one only. That is inadequacy of our housing supply. There are more people needing houses than there are houses to go around. Present allocations of quota housing are inadequate.

"It is more important that we get houses built for those that need them than it is to build automobiles. But few in the government

seem to be doing as much as might be done to increase the flow of materials for construction.

"The government has consistently asserted that it wants to aid the small business man. Strangely enough, however, when it comes to the small business of housing, the aid, materials and assistance are going out to big manufacturing and industry, while the little fellow who wants to build a house stands with his hat in hand."

Noting that OPA is alarmed about evictions of tenants because of sale of the houses they occupy, the association placed the blame for this squarely on OPA itself.

"By its punitive tactics, OPA has driven people out of the rental business," Nelson continued. "It has made it undesirable to own rental houses by refusing to allow reasonable and normal rents. Own-

*(Continued to page 128)*

## Catalogs and HOW-TO-DO-IT INFORMATION

**144—ROLLING DOOR ADVANTAGES**—are explained in the latest catalog published by The Kinnear Mfg. Co. The catalog covers the installation and operation of their rolling doors, both steel and wood construction. Also included are specifications for different types of operation, such as electric, manual, chain hoist and crank. The Kinnear service for assistance to architects, contractors and owners is also presented.

**145—CONCRETE BY PIPELINE**—is made possible by the use of Chain Belt Company's concrete pump. A new 24-page book has just been released showing, with the aid of photographs, what it can do; how it works; and giving the special features. Along with the photos are charts, graphs, specifications and general descriptive copy. One section is devoted to questions and answers regarding Pumpcrete's performance.

**146—FLOORS FROM PLASTICS**—are illustrated and described in a new 16-page catalog just released by Thos. Moulding Floor Mfg. Co., Chicago. The types of material, both floor tile and wall tile, are presented in the colors available with various patterns and designs that can be worked out with the different types. These include greaseproof, acid resistant and non-slip safety tiles. The booklet has photographs of actual installations that show the many uses for this very colorful material.

**147—ANY PROTECTIVE COATING JOB**—can be handled by Liquinoleum, a new product of Continental Asbestos & Refining Corp. Guaranteed for ten years, this material is suitable for either wet or dry surfaces. Applications include

roofing, foundations, other structural and marine uses. Specifications and varied information covered in folder furnished by the manufacturer.

**148—CLOGGING DRAIN LINES**—are eliminated by the use of the Cascade Grease Interceptor, manufactured by Josam Mfg. Co., Cleveland, Ohio. A brochure released by the manufacturer offers recommendations of various units for different types of sinks or fixtures, with table giving size of fixture, inches, liquid capacity of fixture, and unit recommended. Also included in the booklet are installation instructions and prices for each type unit. Interceptors for other purposes than grease and fats are also illustrated.

**149—REAL HEATING PROFITS**—is the subject of brochure published by H. C. Little Burner Co., San Rafael, Calif. Their complete line of heaters and furnaces comprises over 50 sizes and models. Contained in the catalog are the most popular models, with description of each.

### SERVICE COUPON—CLIP and MAIL to CHICAGO

Readers Service Department,  
American Builder,  
105 W. Adams St., Chicago 3, Ill.

(July, 1945)

Please send me additional information on the following product items, or the catalogs, listed in this department:

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New naval hospital being erected at former St. Albans golf course, Long Island

## *What's going on here?*

### **Barber Genasco roofing, of course.**

Even golf courses have found important war jobs. Barracks and training stations have been erected on many of the nation's fairways. On the popular St. Albans course pictured above, naval hospital wards shot up. That was only one of the Government jobs for which Bonafide Genasco supplied the roofing.

Actually, almost everywhere our Flag went—in the South Pacific, Alaska, and points between—Barber Genasco roofing did a job. Consequently, the greater part of the Bonafide Genasco output has been channeled into war work; providing weatherproof and fireproof overhead protection for Government construction.

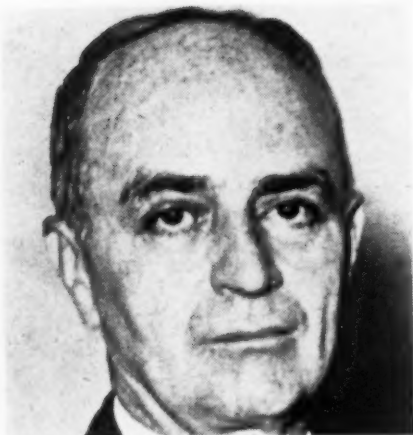
But with war's end, the golf course, peace-time construction, and Barber Genasco roofing will return—all of them bigger and better than ever before.

# **BONAFIDE GENASCO INC.**

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# President Truman's Letter to Ferguson Reveals Strong Sympathy with FHA



Abner H. Ferguson

**Letter from President Truman to Abner H. Ferguson, accepting his resignation as Commissioner of Federal Housing Administration, reveals a keen interest in FHA, may foretell placing agency back on independent basis**



President Harry S. Truman

**By James F. Bonnell**

Eastern Editor

**I**N accepting the resignation of the FHA commissioner, President Harry S. Truman wrote to him as follows:

"My dear Mr. Ferguson: It is with reluctance and extreme regret that I acquiesce in your request to be relieved of your duties as the head of the Federal Housing Administration, which I have always considered as one of the most successful agencies of the government. However, I completely understand your desire to return to private law practice after more than ten years of government service. Your resignation tendered under date of May fifth, therefore, is accepted as of the close of business on June 30, 1945.

"As you say, from an experimental idea, the FHA has grown to a big, strong, sound institution. I am encouraged to know that it has helped more than six million home owners to obtain better housing conditions through loans of more than eight billion dollars made to them by private financial institutions. I am glad to know also that it has become entirely self-supporting; that losses have been infinitesimal and that FHA is now paying dividends to those

thrifty Americans who have paid their mortgages in full.

"This successful operation has been made possible by the sound character of the policies adopted. I know that the decisions involved are due in great measure to your personal wisdom and the sound advice which you gave your predecessors as well as to your own independent action during your four year tenure of office.

"It will always be my desire that those policies be continued so as to assure that the FHA remain a sound institution—operating to the benefit of home owners, financial institutions and the home building and allied industries.

"I know that in leaving the FHA your interest will not lag and it is my hope that I may call upon you for advice in the future.

"With every good wish.

Very sincerely yours,

Harry S. Truman."

**Editor's note:** President Truman had a very personal reason for being more thoroughly acquainted with FHA's merits during his years as U.S. Senator than other members of Congress. His own brother has long occupied an executive position in the Kansas City office of FHA.

**To be well versed in FHA usually means to be for FHA.**

After a service of more than ten years in various capacities with the Federal Housing Administration, Commissioner Abner H. Ferguson resigned his post effective June 30, 1945. His resignation was submitted May 5. President Truman, and was accepted by the Chief Executive June 15th. At press time no successor had been named. See Corright's prediction (page 81) runners-up for the post.

Mr. Ferguson's steady-going and down-to-earth policies have long been felt in FHA affairs. He was for several years general counsel, then assistant administrator, and administrator. The latter title was changed to commissioner when John B. Blanton became NHA administrator in charge of all Federal urban housing agencies.

On July 1, Mr. Ferguson assumed his new post as Washington representative for the prominent New York law firm of Waters, Cowen & Baldrige, in charge of their Washington office in the Shoreham Building.



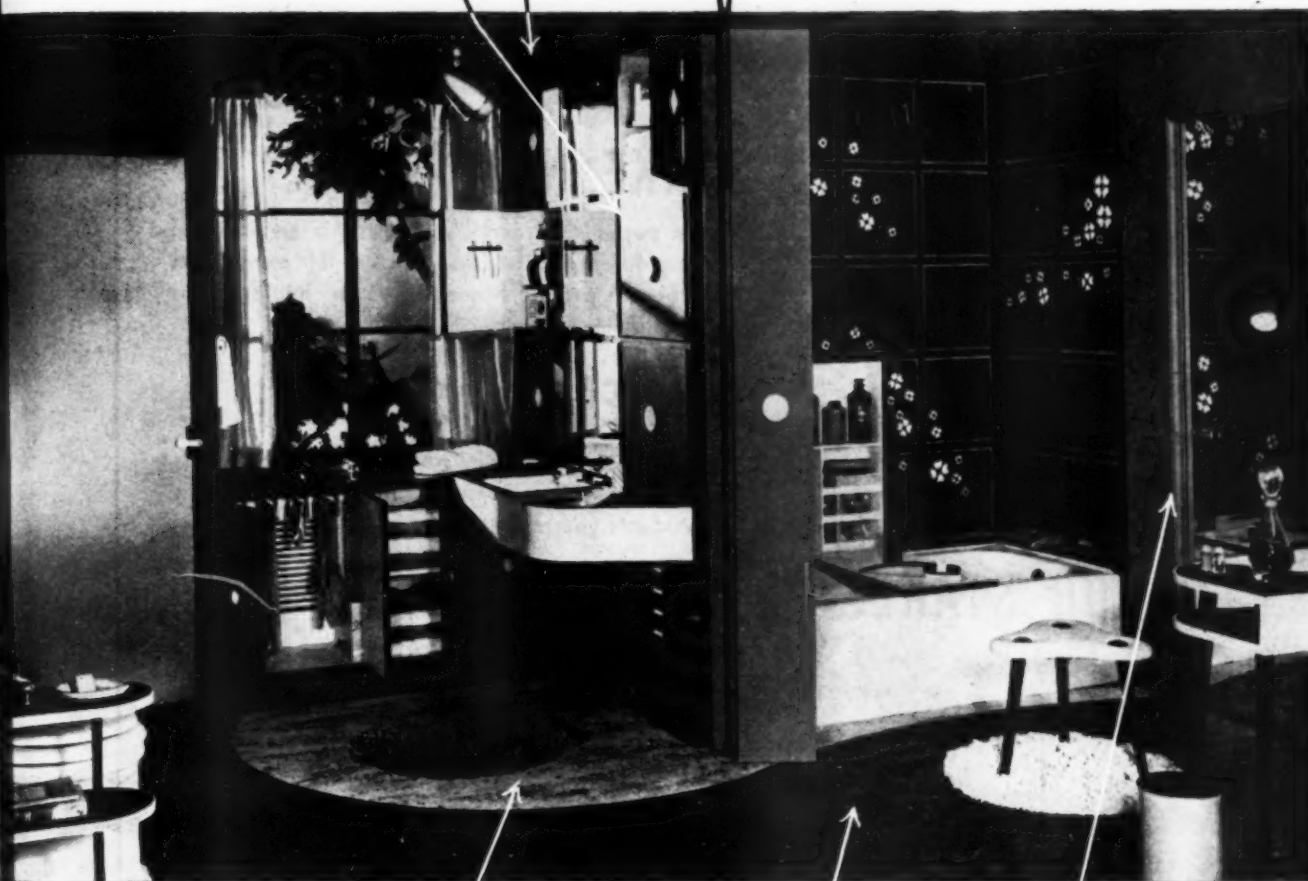
"Cabinet fronts of Nairn Wall Linoleum supply color and beauty . . . "carry out the scheme" of the rest of the room.

"Ceilings of Nairn Wall Linoleum provide a crack-proof, permanent finish.

**Bathrooms like this**



**mean  
business  
like this**



Homemakers are "sold" by the beauty, the durability, the easy-to-care-for advantages of Nairn—the quality linoleum. Installed by expert workers, walls and floors of Nairn Linoleum hasten completion . . . permit immediate occupancy. Nairn Linoleum is fully guaranteed when installed in accordance with manufacturer's specifications. Nairn Linoleum, Kearny, N. J.

\*Even where surfaces get the heaviest wear, Nairn Linoleum retains its colorful beauty year after year.

\*Splash-proof walls of Nairn Wall Linoleum are easy to keep spick and span.

Stain-smooth floors of Nairn Inlaid Linoleum are quiet, resilient . . . require a minimum of maintenance. They offer unusual opportunities for individual decorative effects.

For modern walls and floors

**NAIRN LINOLEUM**

easy to maintain, colorful, permanent, resilient.



# INDUSTRY'S "FOUR STAKES" IN THE

# WASTE PAPER

## SALVAGE PROGRAM

### THE "FOUR STAKES"

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Waste paper provided by industry is an essential raw ingredient in the manufacture of paper and paperboard products necessary for military and essential civilian uses.

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Waste paper is essential to make the containers that help keep your business alive by distributing the products you make.

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Waste paper in most industrial plants can be sold to waste paper dealers. It is a source of extra profit to your company.

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Waste paper in the form of old files, obsolete records, loose paper around warehouses, receiving departments and shipping departments takes up space that costs money and slows down efficiency.

INDUSTRIAL SALVAGE BRANCH



WAR PRODUCTION BOARD





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For re-siding or new construction, this attractive line of materials offers the maintenance-free economy of stone, plus ease of application and adaptability to practically *any* type of building.

And then, Flintkote Asbestos Sidings are made in *many* different styles . . . Tapetex . . . Waveline . . . Straight Edge . . . Woodgrain—to mention a few. There’s a Flintkote Asbestos Siding to harmonize with nearly every

type of architecture, and lending variety when used in “developments.”

For forty-four years Flintkote’s rigid standards of manufacture and testing have helped builders give their customers *extra* years of service at no extra cost.

Count on these asbestos sidings. They’ll boost your sales.

. . .

Don’t overlook the great farm market. Capitalize on Flintkote’s advertising program in this field. There will be a lot of business for you if you follow through now.

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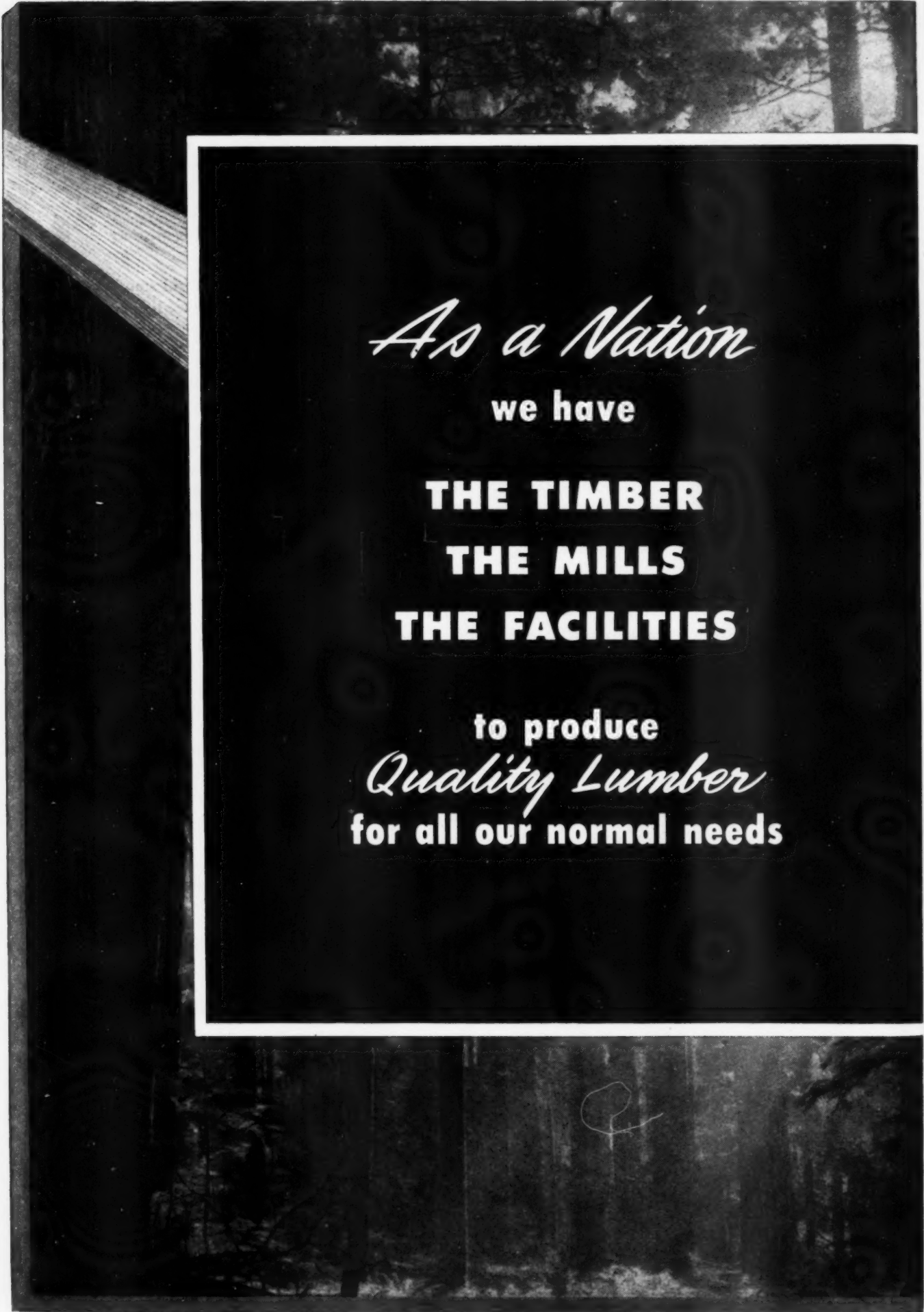
Atlanta • Boston • Chicago Heights • Detroit  
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THE EXTRA YEARS OF SERVICE COST NO MORE!







*As a Nation*

we have

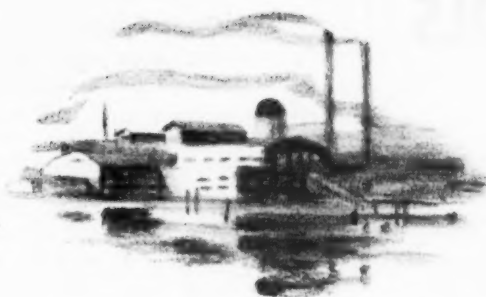
**THE TIMBER**

**THE MILLS**

**THE FACILITIES**

to produce

*Quality Lumber*  
for all our normal needs



**Y**OU CAN count on the lumber industry to take on the tremendous postwar building job with the same energy and effectiveness that has characterized its service in the war effort.

You can count on lumber because as a nation we have the timber, the mills, and the facilities to produce quality lumber for normal domestic needs.

The war-time scarcity of lumber for civilian consumption is easily understood. War needs come first. And these needs are taking the best and very nearly all the lumber being manufactured...just as they are taking the best of everything for our fighting men.

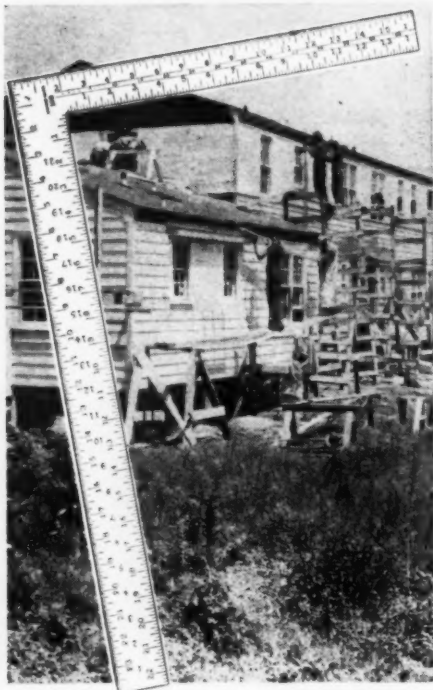
In spite of the enormous lumber footage produced for the war, we still have available for our peace-time needs vast stores of timber resources, made up not only of mature timber ready for harvest, but also of constantly growing supplies of young trees.

You can count on lumber because Timber is a Crop, and because modern forest management, with proper forest harvesting practices, is making significant strides toward the goal of sustained timber production, where timber growth equals the harvest. You can count on lumber again, our great renewable natural resource.

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# STANLEY TOOLS



In carpentry, no tool is more indispensable than the steel square. It is more than a square and straight-edge—the markings, figures and tables of a Stanley Steel Square provide the builder with a simple calculating device for solving many problems.

To assure accuracy Stanley Steel Squares are made with extreme care—from one solid piece of steel. They are tapered in thickness from the angle outward for strength, balance and lightness, each corner hardened against wear.

Buy Stanley Tools—accurately designed, attractively finished, long lasting—for time and labor saving tool performance that means extra profits on every job.

**STANLEY TOOLS**  
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## STANLEY

THE TOOL BOX  
OF THE WORLD

### Cortright (Continued from page 81)

difficulty securing labor. Bottlenecks will exist in such items as brick, soil pipe, wall board, etc. Builders' hardware and other components are moving into production very slowly. Nickel and chrome plated fittings may not be available until after V-J Day. OPA will continue to resist necessary increases in rental and sale ceilings as well as increases to encourage the production of components.

**In spite of good intentions** in high places, therefore, and in spite of constant relaxations, the next twelve months will be a troublesome and hazardous time for home building. Those seasoned and tempered by the trying conditions under which they have built war housing will have less trouble than those resuming activity for the first time since 1941. A clear understanding of the problems involved will be necessary before starting construction. Financing arrangements will be difficult until the present belief is dissipated that current construction costs are only temporarily high. Warehousing of certain items will be desirable but probably not possible. The opportunities for service to builders by both local associations and the National Association will be unprecedented.

**The interview with Mr. Blandford** was extremely satisfactory. It was clear that Mr. Blandford had carried the fight for a large H-2 program to the War Production Board with great vigor. The approval of more than 50,000 priorities during April and May is tangible evidence of his good judgment in visualizing the program as an intermediate step between war housing and civilian construction. Although only a very small percentage of the 78,000 H-2 units approved has been started, it is felt that the problems which are now blocking the program can be met in the near future. NHA has set a goal of at least 75,000 units per quarter between now and the time L-41 is completely lifted. Even the H-3 program has reached the surprising total of 35,541 new dwellings and is averaging better than 8,000 units per month. This is going to "hardship cases," many of whom are veterans.

**Failure in new starts** of H-2 housing lies largely in the FHA determinations. Although establishment of the maximum price ceilings for pre-war standard three-bedroom houses is fixed for each locality by the NHA, it is done so largely upon the advice of FHA. In many cities, this maximum figure will not permit construction of the size and quality house demanded. In addition to this maximum ceiling, each application is processed by the FHA office and the price ceiling set in accordance with FHA's ideas as to current replacement cost.

**Clark**  
PORTABLE  
ELECTRIC TOOLS

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### BETTER VALUE for Tomorrow's Homeowners

You can give tomorrow's homeowners enduring quality with stock-design doors, windows, frames and woodwork of Ponderosa Pine—and Ponderosa Pine helps to maintain home values through the years while adding charm and distinction.

For full information, write Ponderosa Pine Woodwork, Dept. MAB-7, 111 West Washington Street, Chicago 2, Illinois.

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In many cases, this is entirely unrealistic and should be adjusted upward. Finally, FHA's refusal to increase their stabilized cost index to a reasonable approximation of current construction costs is forcing a large part of the financing to private institutions. It is presumed that less than 15,000 total new starts of H-2 housing have been made during the last seven months although nearly 80,000 units have been approved.

#### Co-operation from WPB certain—

John D. Small, WPB Chief of Staff, whose Committee on Period One will be a controlling factor in the provision of materials, assured the executive committee that just as rapidly as materials are available home building will be given an increasingly free rein. Even though we are laboring under extremely difficult conditions it is quite true that home building is almost the only civilian activity which still has a priority rating. Practically all of the service industries which have been given complete freedom are working without this assistance. In most cases definite limits have been placed upon their production (as in the case of automobiles, only 200,000 cars) and their sales level is held to a 1941 or 1942 basis. After considering all the facts NAHB's executive committee was convinced that most officials of both NHA and WPB have done the best possible for the industry under extremely confused and difficult conditions.

**Robert Nathan** of the Office of War Mobilization and Reconversion assured the Committee that Judge Vinson's staff is well aware of the necessity of permitting the industry to move into its maximum production at the earliest possible moment. Faced with the over-all problem of co-ordinating production and conversion with cutbacks and unemployment, a very broad approach is taken by this agency. We were pleased to learn that the desire of such high officials for our industry to function at its full capacity is no less strong than the desire of home builders to get ahead with their job.

**The possibility of a 35 to 40 per cent** down payment on the sale of all new housing provided the most disturbing threat to our industry in several years. As the word spread throughout the country there was an overwhelming protest unprecedented in its proportion and vigor. Attention was called to the disastrous effect such an executive order would have on an industry mobilizing for an immense postwar effort under already difficult conditions. The impossibility of the great majority of purchasers, particularly war workers and veterans, securing 40 per cent cash was obvious. The widespread liquidation of war bonds to provide the down payment would be equally unfortunate. Because of all this, it was most reassuring to learn that...



## The Barcol OVERdoor for Residence Garages

With the withdrawal of limitation orders, the manufacture of Barcol OVERdoors for general residence use is again possible, subject only to priority orders and the availability of materials and manpower. Frankly, we have on hand a considerable volume of priority business and material of satisfactory quality is hard to find, so it will not be practical for us to start immediate delivery of Barcol OVERdoors in quantity on unrated orders. We are, naturally, doing everything we can think of to overcome these handicaps and have hopes of an early solution. In the meantime, we welcome your inquiries and will be glad to *accept your orders* if you are willing to place them on a when-possible basis. There are a lot of residence garages, present or planned, that can use Barcol OVERdoors to good advantage, and we want to see that they get them as soon as possible. *For detailed information, see your Barcol representative.*



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A garage too low for the auto!

Few builders would make such a big figuring mistake, but many builders find small errors cost them time and money.

The Printing Calculator prevents such figuring errors and also saves time by simultaneously *working, printing and proving* your problems—as shown by the figures on the tape.

It is the **ONLY** machine that:

- Divides automatically and prints**
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It replaces two machines: the ordinary adding machine that won't calculate and the ordinary calculator that won't print. Builders everywhere say the Printing Calculator is ideal for estimates, payrolls, statistics, billing and all other figure work. They say it *saves* time and costs.

Let it save for **YOU**. Phone your nearest Remington Rand office *now*, or write to us at Buffalo 5, N. Y., for the free explanatory booklet TOPS.

*Multiplication*  
 $7 \times 18 = 126$   
 7 18 ✓  
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 $87 \div 14 = 6 \frac{3}{4}$   
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 14  
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*Subtraction -*  
 5845  
 380  
 6225 S  
 250 -  
 5973 \*



**Remington Rand Automatic Printing CALCULATOR**

**New construction will be exempt** from mortgage control limitations. The Office of Economic Stabilization advised the committee that although they are considering a control requiring a 35 per cent down payment on the sale of real estate, it will not affect new construction. If the order as it is now being prepared is not changed, it will be designed primarily to discourage speculation and will apply only to resale. It is still true, however, that such a control would greatly reduce the normal flow of real estate and would have an unfortunate effect upon home building. Our association, therefore, will not relax in opposing such an order merely because the immediate threat to new construction is removed.

**Outlook for lumber** is still confused and gloomy. Conferences with officials of both government and industry presented a highly complex and discouraging picture. From the standpoint of the producers it was quite clear that they must have relief in matters of taxation, labor, price ceilings, tires and equipment. For more than three years they have been rapidly depleting their lumber supply. Already in the excess profits class they do not benefit financially by continued volume production.

**Abner Ferguson resigns** as commissioner of the Federal Housing Administration. After completing nearly five years of service in this post, Mr. Ferguson will resume the practice of law heading the Washington office of Watters, Cowen and Baldrige.

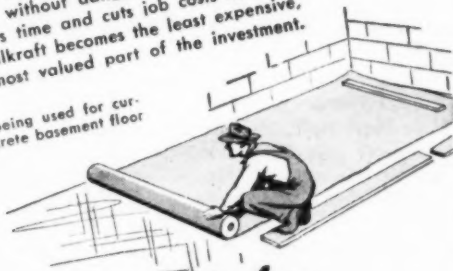
**President Truman will name** new FHA commissioner before July 1. Deputy Commissioner Earle S. Draper appears to be the leading candidate for the vacancy, while Raymond P. Cahill, former assistant FHA Commissioner, is said to be a close second. Both men are well qualified for the job, although Mr. Draper has the edge by virtue of a continuous record of service since 1940. It will be recalled that Mr. Cahill served as assistant commissioner until 1943 when he left to assume his present duties with the Federal Deposit Insurance Corporation.

**May presage future of NHA—**Draper seems the logical successor to Mr. Ferguson, and because he is "a Blandford man," it is presumed that the NHA Administrator has urged President Truman to appoint him. Therefore, should the appointment be given to anyone not recommended by Mr. Blandford it may be evidence of the President's intention to disband the NHA, moving FHA and the Federal Home Loan Bank back to the Federal Loan Agency and otherwise disposing of the NHA constituents. All of this is pure speculation of course, as only time will disclose just what plans the President has.

## Save Time

With its greater strength and flexibility, Sisalkraft is quickly and easily applied by one man without danger of rips or tears. This saves time and cuts job costs so much that Sisalkraft becomes the least expensive, yet, a most valued part of the investment.

Shown being used for curing concrete basement floor



## Save Labor

The extra strength of Sisalkraft makes battens unnecessary. This saves labor — materials — eliminates patching — provides an unbroken blanket of protection for walls, floors, and around all openings.

As an undersheet for hardwood floors



## Make Protection Sure

Water-proof and weatherproof, Sisalkraft is resistant to general deterioration — a durable, unbroken barrier against dirt, dust, dampness, cold winds, and driving rains — unequalled protection at extremely low cost.

Being used over sheathing



**On Jobs Like These:**

Sisalkraft is a building paper you can use with confidence. For 25 years, its weatherproofing and protective features have been indicative of quality construction — an assurance of real customer satisfaction.

While the war has restricted immediate availability, after the war as before, the Sisalkraft dealer organization will be ready to serve you in 48 states.

**THE SISALKRAFT CO.**  
205 W. WACKER DRIVE-CHICAGO 6, ILL.  
NEW YORK - SAN FRANCISCO - LONDON - SYDNEY  
In Canada write to: Alexander Macdonald Ltd., 100 King St. W., Toronto, Ontario, Canada.

*Manufacturers of*  
**SISALKRAFT, FIBREEN,  
SISAL-X, SISALTAPE AND  
COPPER-ARMORED SISALKRAFT**



### ...In Detroit

A factory trained service department and a complete stock of parts are always ready to serve you at the American Floor Surfacing Machine Company's distributorship at 7036 W. Chicago Blvd., Detroit, Michigan.

## Every hour means PROFITS!

● A floor sander is a big money maker for its owner. But it can make money for you only while it is working. If breakdowns occur and the machine is laid up for repairs the result is loss of time...loss of profits.

Quick service and immediate availability of replacement parts is one of the most important things to consider when you buy a floor sanding machine. Don't find yourself in the position of being the owner of an "orphan".

When you own an American you are sure of service...for in strategically located cities all over the United States are distributors who carry a complete stock of original replacement parts and maintain a factory-trained service department to service your machine on a 24-hour basis. Orders for parts are shipped the same day they are received. This is your assurance that when you own an American it will work for you all the time.



We shall be happy to send you complete descriptive literature on all models. Just write us—no obligation.

**AMERICAN**  
FLOOR SURFACING MACHINE CO.  
511 SOUTH SAINT CLAIR ST.  
TOLEDO, OHIO





## Your Waterproof Papers for Postwar Building



### BROWNSKIN

#### For Sheathing

Its S-T-R-E-T-C-H sets it apart from ordinary sheathing papers, as does its special treatment against deterioration, passage of water or moisture. No sheathing paper like it. As long as a building lasts, so will BROWNSKIN.



### BROWNSKIN VAPORSEAL

#### For Vaporsealing

Protects all kinds of insulation. Use on the warm side of insulation, leaving cold side free to breathe. Thus, ideal dry conditions will be maintained.



### ECONOMY BROWNSKIN

#### Protects Flooring

One side is crinkled BROWNSKIN, the other flat kraft. Between flooring, the BROWNSKIN side goes down. Also unexcelled as a protector of finished floor surfaces in rooms where men are working. Here the BROWNSKIN side goes up.



### ECONOMY BROWNSKIN REINFORCED

#### Has Extra Strength

An all-purpose waterproof building paper, useful for temporary partitions, coverings, and the protection of all types of floors during construction.



### COPPERSKIN

#### Protects Hidden Places

Electro sheet copper, bonded to BROWNSKIN by asphalt. Use in concealed places to protect insulation, for drip pans, and to flash windows, doors and all exterior openings.

In writing for Samples and Literature, please mention by name this Magazine.

1945 — Angier Golden Jubilee Year. A half Century of Protection to the Products of Our Nation and Its Industries — in Peace and War.



**ANGIER CORPORATION**  
CORROSION PREVENTIVE AND WATERPROOF PAPERS  
FRAMINGHAM, MASSACHUSETTS

## OPA Forces Largest Producer of Veneered Doors Out of Market

**F**AILURE of OPA to establish a ceiling price, based on increased raw material costs as established by OPA, will force the Paine Lumber Company, Oshkosh, Wis.—largest producer of veneered doors—out of the market, according to officers of the company.

Raw materials were permitted to advance by OPA but no steps have been taken to permit the manufacturer to reflect this increased cost in the finished product, officers of the company say. They point out that their labor costs in fabricating the doors have also risen sharply but they are willing to absorb this added cost if given relief on the rise in raw materials.

The hollow core, flush type of door, manufactured by the Paine Company and sold under the trade name, Rezo, was introduced about eight years ago and held at a very low price during the period of initial promotion, so there was no large profit base to absorb these unexpected wartime cost increases, the officers state.

Today as the industry moves into the anticipated postwar home building boom, with this type of door now in great demand, the company faces great loss if it is forced to abandon the market it pioneered to create. At the same time the company cannot continue to manufacture at a loss for a period of uncertain length and has petitioned OPA to allow an increased ceiling based only on the higher material costs which were allowed by OPA.

\* \* \*

## NAHB Adopts Land Institute Principles

(Continued from page 79)

### 5. Finance of Land Assembly

For the acquisition of blighted land, local government which otherwise conform to the requirements of the proposed legislation should be permitted to receive state assistance of credit and they should also be permitted to make use of their own financial resources by the issuance of bonds or debentures for the purpose of urban redevelopment. All property of Authority should be held in trust for payment of interest and principal of outstanding indebtedness.

### 6. Powers of Eminent Domain

The right to acquire property for urban redevelopment through condemnation proceedings should reside in the community only, and through it in the Urban Redevelopment Agency, and not in private redevelopment corporations or public housing authorities.

### 7. Disposal of Land

The Redevelopment Agency should be permitted to sell or lease the land in the proposed redeveloped area in its entirety or any part thereof to any private individual, company or corporation and to any public agency for the purpose of fulfilling the objectives of the Redevelopment Plan. (Alternate proposal—All Public Housing Authorities must acquire land from the Redevelopment Agency.)

### 7. Disposal of Land (Alternate Proposal)

In accordance with the redevelopment plan, areas which have been designated for various public uses shall be first sold or transferred to the appropriate agency of government by the redevelopment agency. All the remaining area, including all land designated for housing, shall be offered for sale or lease in its entirety or any part thereof to any private individual (company or corporation) for the purpose of fulfilling the objectives of the redevelopment plan. If the land is leased, purchase options should be granted the lessee with proper safeguards.

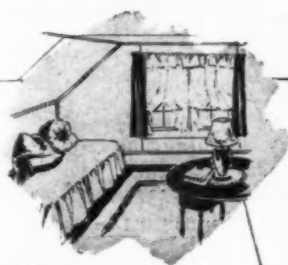
Every reasonable effort should be made to dispose of areas designated for "low-rental housing" to private individuals or corporations, even to the extent of offering such land at auction sales, if, in order to secure sufficiently low rent, the redevelopment agency considers it desirable.

### 8. Public Controls

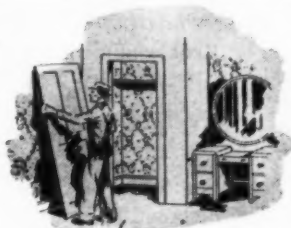
To insure that urban redevelopment shall operate in the

(Continued to page 128)

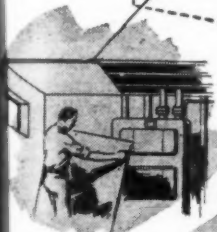
## You can profit from these HOME USES for TEMLOK



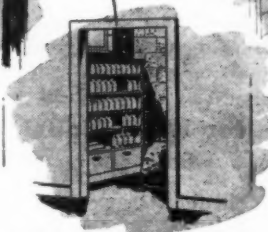
**Extra Jobs** are easy to sell because Temlok is a decorative as well as an insulation board.



**Extra Closets** mean extra profits. Temlok can be used for these jobs, too.



**Rooms** are be-made livable. Temlok for attractive, insulated walls and ceilings.



**Fruit Cellars.** Another Temlok opportunity. Sell it for insulating partition walls.

**Garages.** Sell Temlok to insulate against sudden temperature changes; as auto protection.

**THERE'S EXTRA BUSINESS** in showing customers how unfinished space in the home can be made useful with Temlok. Illustrated here are just a few of its applications.

Boards of Temlok De Luxe Interior Finish are factory-painted in ivory color. These  $\frac{1}{2}$ " thick, 4' wide, and 7' to 12' long boards go up fast. They are light and easy to handle. Temlok saws cleanly, nails securely. And, best of all, it is so inexpensive that you can sell many extra jobs with it—even today, while building costs are limited.

For free samples, literature, and complete information, write today to Armstrong Cork Company, Building Materials Division, 1607 Ross Street, Lancaster, Pennsylvania.

**ARMSTRONG'S TEMLOK  
INSULATION**

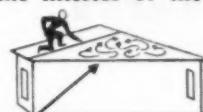
WEATHERING • LATH • BOARD  DE LUXE INTERIOR FINISH

*Better ventilation without  
power costs...no matter which  
way the wind blows!*



Because of the revolutionary, aerodynamically-correct design of the Breidert Air-X-Hauster, wind currents striking it from *any* angle are converted into a powerful suction force that rapidly exhausts stale air from the interior of the house, kitchen or building. The

Breidert remains stationary, has no moving parts. *Back-drafts are eliminated where there is no interior negative pressure!*



① In summer, attic temperature often reaches 30° to 40° higher than outdoors.



② Breidert Air-X-Hauster exhausts hot, stale air at the high point of roof, and...



③ Fresh air enters at windows and doors, passes through register openings (R) and into attic, cooling entire house.

**Unsurpassed for Kitchen Ventilation...** The Breidert system provides a continuous, silent, effective circulation of air that exhausts heat and odors *at their source*, with no operating or maintenance expense. There are no "hang-over" cooking odors because the exhaust action of the Breidert is continuous. The neat, compact appearance of the "Type A" Breidert (above) especially recommends it for residences.

**Higher Capacities Certified by Smith, Emery...** Commercial laboratory\* tests, made with wind blowing at *all* angles, prove the remarkably high capacities of the Breidert. Certified ratings are based on these unusual tests. \*Smith, Emery & Co., Pacific Coast Branch Pittsburgh Testing Laboratories.

### Breidert Air-X-Hausters for Roofs, Vent Flue Caps, Chimney Tops

Breidert Air-X-Hausters provide safe, sure ventilation no matter which way the wind blows, eliminating back-draft and resulting annoyances. Thousands of installations have proved their superiority.



**Write for Free Engineering Data Book**

...contains specifications and installation data, certified capacity ratings, etc. Address Dept. AB

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## COMET *Radial Power* SAWS



## COMET POWER *Streamlines* PRODUCTION



The famed power of all rugged Comet Radial Power Saws helps to streamline production. Speed and accuracy in all cuts give Comet owners great advantage in saving of time and money—and in quality of work. Quite naturally Comets are peak favorites with builders and contractors everywhere. Such popularity is earned through performance... See your local dealer, or write for free literature.

**CONSOLIDATED MACHINERY & SUPPLY CO., LTD.**  
2029-33 Santa Fe Avenue, Los Angeles 21, California

 **COMETS** *cut quicker*

(Continued from page 126)

lic interest, reasonable public controls are necessary, and a part of the deed of sale or lease agreement, a contract should be drawn between the redevelopment authority and the buyer or lessee, which includes terms of the Redevelopment Plan and all other pertinent matters.

### 9. Tax Abatement

No provision for tax abatement as a stimulus to redevelopment should be included in this legislation, except as property owned by the Agency (and all Public Housing Authorities shall pay normal property taxes).

### 10. Re-housing of Displaced Tenants

The Redevelopment Agency should not be required to provide for the re-housing of displaced tenants. The Redevelopment Bill should not be a housing bill. However, in selected areas to be redeveloped consideration must be given to the problem.

### 11. Limitation of Profits or Dividends

There should be no restrictions on the profits or dividends derived from private redevelopment projects. However, controls should be established for rentals of low income group dwellings, as well as for land use, density, height, coverage in all the area.

### 12. Appraisal

Appraisals by properly qualified appraisers should be made before purchase as well as new use appraisals before resale. The appraisals should not be binding on the Redevelopment Agency, but should be used as a guide and for purposes of public record.

### 13. Modification of Redevelopment Plan

Careful safeguards should be provided against unwarranted modification and changes in the official Redevelopment Plan, but provision should be made for future proper modification.

### 14. Administrative Costs

Funds should be provided to cover administrative costs of the Redevelopment Agency—preferably through action of local legislative body.

\* \* \*

## Nelson Calls for More Housing—

(Continued from page 114)

ers would rather sell their property than suffer steady persecution. So they sell, and the tenants are out.

"If OPA wants to stop evictions, the surest way for it to operate would be to treat property owners on a par with other business. Property owners are not putting tenants on the street, but the OPA is."

Nelson declared that the nation's realtors and home builders are ready, willing and eager to put up more housing materials are made available. He urged that the National Housing Agency, the WPB, the Office of Economic Stabilization and other agencies affected get together on an over-all program to give house materials top priority and move them rapidly to market.

\* \* \*

## New Book of NAHB Designs Finally Gets Paper—Off Press This Month

The book of about fifty of the finest house plans submitted in the \$6,000 design competition of the National Association of Home Builders will be off the press mid-July, announces M. C. Huggett, executive vice president of the Chicago Metropolitan Home Builders Association which directed the 1945 competition as underwriter of the Convention-Exposition of NAHB.

Efforts were first made to produce a deluxe portfolio in large size with hard cover. It was impossible to secure the paper to do this type of book properly.

While it will carry the same house designs in two colors on a good quality of paper, it will be 8½" by 11" with a color cover, will sell for \$1. Its title is *Homes of Tomorrow*. Associate Editor John E. McNamara of *American Builder* is assisting the association by acting as editor of the book.

B. A. M.  
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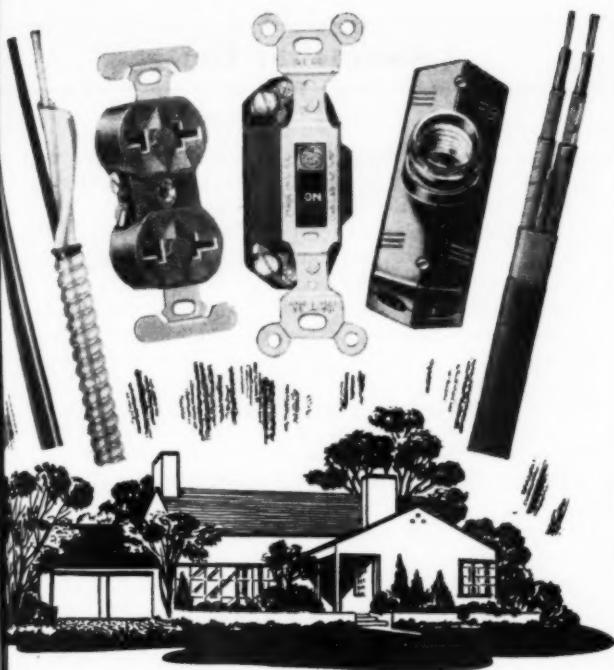
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## OR Added Sales Appeal INSTALL

## G-E WIRING MATERIALS

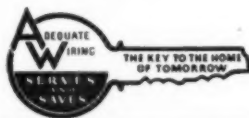
Choose G-E wiring devices, cables and wire for the electrical wiring systems in the houses you build. They are high quality materials and will add to the value of your houses. Your customers know the G-E monogram stands for high quality and dependability. The use of wiring materials carrying this monogram will automatically provide extra sales appeal. The G-E wiring materials line is complete including conduits, building wires, BraidX, BX, cables and fittings, standard wiring devices and anchor surface wiring devices.

For further information, see the nearest G-E Merchandise Distributor or write to Section CDW-8, Appliance and Merchandise Department, General Electric Co., Bridgeport, Conn.



## WIRE ADEQUATELY

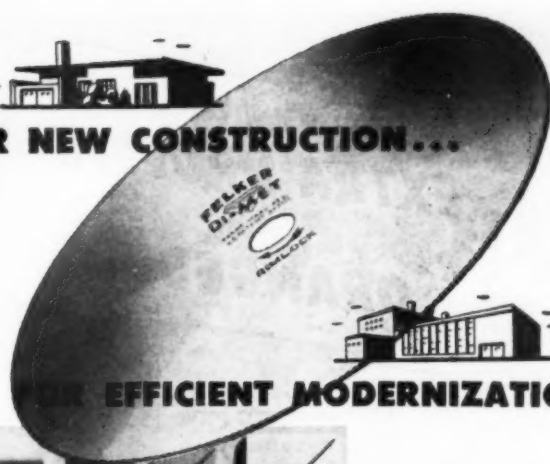
B. A. McDonald, electrical supt. N. Y. Fire Insurance Rating Organization, Rochester, N. Y., says, "Wire for tomorrow and wire adequately. Advances in the use of electricity demand that we provide a safe, convenient and adequate outlet for such use."



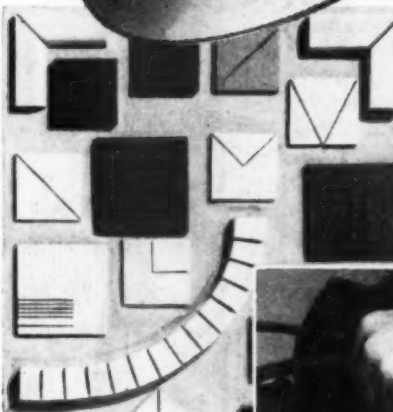
BUY WAR BONDS AND HOLD THEM

**GENERAL ELECTRIC**

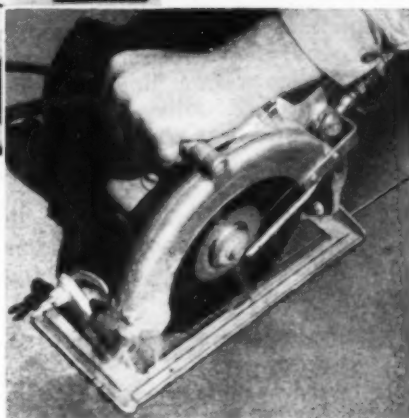
## FOR NEW CONSTRUCTION...



## EFFICIENT MODERNIZATION



**SETTING TILE—MARBLE—GRANITE?** Felker DI-MET Rimlocks speed up fitting operations; saw these materials rapidly to exact size without edge chipping.



**ALTERING OLD BUILDINGS?** Use Rimlocks to cut new openings in old concrete floors, walls, brick structures, etc.

## Take advantage of FELKER DI-MET RIMLOCKS' faster cutting ability!

Rimlocks are today's answer to the need for faster building methods. Diamond particles firmly bonded in the rims of all-metal wheels give Rimlocks extra cutting speed with complete safety from wheel fracture. Made in sizes from 1" to 36" O.D. for use on standard machines.

Solve your cutting problems with Felker DI-MET Rimlocks when sawing CEMENT-ASBESTOS PRODUCTS, CONCRETE, VITRIFIED AND SEMI-VITRIFIED CLAYS, HEAVY GLASS OF ALL TYPES, QUARTZ, MARBLE, SLATE, GRANITE and similar non-metallic materials.

**FREE FOLDERS** giving prices, operating information and typical applications of Felker DI-MET Rimlocks sent on request. A postal card with your name, company and address will bring them. Write today!



**FELKER MANUFACTURING CO.**  
1118 BORDER AVENUE, TORRANCE, CALIFORNIA

MANUFACTURERS OF FELKER DI-MET DIAMOND ABRASIVE WHEELS

BARNEY THE BUILDER says:

Pick up some  
**EXTRA PROFITS**  
with  
**ORANGEBURG**



ORANGEBURG PIPE is a "natural" as a profit-maker for building material

dealers. No other pipe can be installed with less time and trouble—no other pipe can give more in continued customer satisfaction. ORANGEBURG has met with remarkable acceptance and success the country over, in such non-pressure uses as: house-to-sewer or septic tank connections, industrial waste drainage, conductor lines, outside downspouts. Equally popular is ORANGEBURG PERFORATED PIPE, with snap couplings, for septic tank filter beds, foundation drains, farm and muckland drainage . . . It will pay you to learn more about this profitable pipe now! Return the coupon today!

Remember these profit-making advantages:

- Light weight, easy to handle and install.
- Longer lengths, fewer joints to make.
- TAPERWELD JOINTS quickly made without cement or joining compound.
- Prevents infiltration and root growth.
- Can be installed in wet trench—tight joints readily made in or under water.
- Can be sawed to any length—all pipe useable.
- Sewer lines ready for testing at once.
- Does not break or crack easily—lasts a lifetime.
- Non-rigid—withstands soil settlement.
- Non-metallic—can't corrode.
- Advertised in leading home and farm magazines.

**ORANGEBURG**  
The Root-Proof Pipe

WITH 50 YEARS EXPERIENCE IN THE MANUFACTURE OF NON-METALLIC CONDUIT AND PIPE, ORANGEBURG SERVES THE POWER AND LIGHT, TELEPHONE, GENERAL CONSTRUCTION, CHEMICAL, PETROLEUM, PLUMBING AND BUILDING SUPPLY FIELDS WITH ELECTRICAL FIBRE CONDUIT . . . ELECTRICAL UNDERFLOOR DUCT SYSTEMS . . . AND FIBRE PIPE FOR NON-PRESSURE USES.

THE FIBRE CONDUIT COMPANY (AB-7-45)  
ORANGEBURG, N. Y.

Please send catalog on ORANGEBURG PIPE.

Name.....

Address.....

City.....

## Letters to the Editor

(Continued from page 7)

the next month. Putting it another way, we pay him monthly compound interest on his extra payment at the mortgage rate. It is therefore superior to a savings account.

We feature this plan under the name of "Reserve Protection Clause," just to give it advertising value. It offers an easy way to make modest advances.

In addition, however, we will lend additional funds to a borrower when he desires to repair or improve, using a second mortgage at the same rate. A change in our mortgage terms is now being made by our attorneys, permitting such advance without a second mortgage, providing the loan does not increase above the original face. In that case, we will still have to search the records to protect against intervening liens but will not have the expense of preparing and recording a mortgage.

Since you are interested in the whole mortgage problem you may be interested to know that for two years we have been absorbing the borrower's first loan costs, including title insurance, appraisal, recording and attorney fee. Our loan volume has doubled as a result.—BEN H. HAZEN, PRES. Benj. Franklin Federal Savings & Loan Assn., Portland, Ore.

### Kept up to date by ads

To the Editor: I like the *American Builder* because it stands alone. I thank you for the ads you publish because by them I have found a great many items that are beneficial to my work. Many ads tell us what we will get after the war. It keeps us posted on many new things.

I am not for ready-built houses after the war. A few have been moved in here and I inspect them and find them not up to what they cost in workmanship. You see I belong to the union.

At this time I would like a little more information on our supplies, lumber and other material that will help the contractor and builder. The factories and lumber dealers don't know they depend on the builders and contractors a great deal. I have always been busy in my business and it looks as if I will be for a long time.—ED THOS. HATTON Kokomo, Ind.

### Finds building code advice helpful

To the Editor: Some months ago you covered building codes in a very satisfactory way. I have lost this issue.

It will be appreciated if you can send me the article as we are planning to change our building code and think your advice would be very helpful.

Please permit me to say that we prize our subscription to the *American Builder* higher than any of a half dozen fine publications to which we subscribe.—W. M. NEYLAND W. M. Neyland Realty Co., Corpus Christi, Texas.

\*\*\*

### Dewey Struts Into Postwar—

(Continued from page 91)

their own. Since it's true for everybody else—it's equally true for you.

"It is the purpose of this booklet to help you if you are really ready and want to Build a Home of Your Own."

At this point the booklet carries the following quotation from the editor of a woman's magazine which reaches millions:

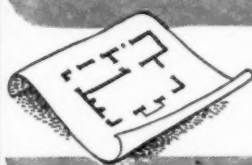
"Many people I meet daily simply do not own homes of their own because they are really afraid to start.

"True they spend hours admiring model homes—they envy the homes of their friends—they live in quite the same manner as their friends who own their homes—they spend quite as much—their incomes are about the same, but they just haven't been able to acquire a home. I don't think that t

(Continued to page 132)

*Any house  
you plan*

*built as you design it  
but with  
new speed, new economy*



### THE HOUSE

*Exactly as you design it*

**THE SPEED** Ready for  
occupancy in 10 to 30 days  
from start of operation



### THE ECONOMY

*Higher quality, lower cost*

Precision-Building puts home construction on a new plane of engineering efficiency. Conventional materials are used, but they are delivered in large units which have been assembled—to fit your plan—with machine accuracy. Every joint is tight—precision-cut, precision-fitted.

Interior walls and ceilings are lined with Homasote, the one practical material for both insulation and decoration. They may be painted or papered and will never crack.

The extra strength of Precision-Built Homes has enabled them to withstand floods, hurricanes, even tidal waves. In every way they are quality homes.

As soon as wartime restrictions permit, Precision-Built Homes Corporation of Trenton, N. J., will enable you to give your client a home of any size, any type, anywhere—with new speed, new economy.



**HOMASOTE COMPANY, Trenton 3, N. J.**

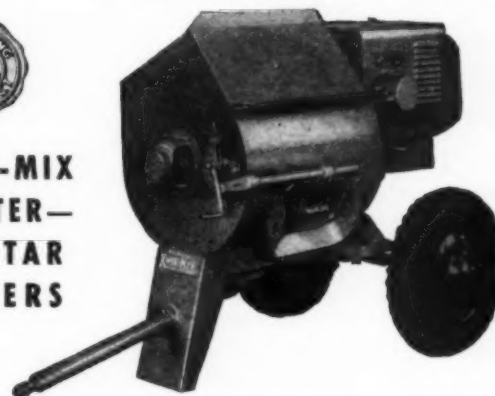
## NEW KWIK-MIX 6-S DANDIE



New Kwik-Mix 6-Foot Concrete Mixer. (Complying with A. G. C. standards). Strength without Overweight • Faster Charging • More Thorough Re-Mixing • Faster Discharging • Better Working Balance • Leaf Springs • Safer, Faster Trailing. Ask for catalog 6-SAB today.



### KWIK-MIX PLASTER— MORTAR MIXERS



Kwik-Mix 6-P Plaster-Mortar Mixer is completely discharged in 7 seconds. Weighs only 850 pounds, easy to move. Easy to charge because of low shoveling height. Non-Tilting. Air-Cooled engine. V-Belt and worm drive. Kwik-Mix 10-P Plaster-Mortar Mixer is 4-wheel tilting type.

**KWIK-MIX COMPANY**

KOEHRING SUBSIDIARY  
PORT WASHINGTON • WISCONSIN





MODEL 80

8" Blade

2 1/2" Cutting Capacity

**FAST AND ACCURATE**—High speed motor reduces sawing time. Quick, accurate cuts assure square board ends and better fitting members.

**EASY TO HANDLE**—light weight—perfectly balanced—easily adjusted for depth and bevel cuts. Excellent for sawing in close quarters.

**VERSATILE**—can be used for cross-cutting, ripping, multiple cutting and bevel cuts to 45 degrees. Also operates an abrasive wheel for cutting non-ferrous metal, cutting and scoring tile, stone and concrete.

**RUGGED CONSTRUCTION**—large, extra-powered, heavy duty motor. Lightweight housing designed to withstand abuse. Available for 110-volt A.C. or D.C. or 220-volt A.C. or D.C.

Ask your Dealer for MallSaws, Mall Planes, Mall Drills and Mall Concrete Vibrators or write for literature and prices.



MALL TOOL COMPANY

7737 South Chicago Ave., Chicago 19, Ill.

Mall

PORTABLE POWER TOOLS

(Continued from page 130)

people themselves are to blame. Home owning is really surprisingly simple once people get over the fear of making the start, fear of being misled, the fear of borrowing money and are able to find a realtor in whom they are willing to place full confidence.

"To any average, thrifty, willing and honest family with consistent income—home ownership is not only practical, but logical."

The story then tells how complete the service is. A prospective owner has only one place to go, only one firm to deal with. There is no run around. Here it is in Fuller's own words about the Dewey organization:

"The services for people of the more moderate means would have to be all handled by one organization (Dewey believes) in whom absolute confidence could be placed. This would mean that instead of selecting a location, then consulting with an architect, then a builder and then a mortgage company or bank for the money—home seekers would prefer to go to one organization, tell their problems, their aims and ambitions, discuss their finance, present their own ideas of home and complete the transaction with nobody else to see. And that is exactly the kind of an organization that Ray Dewey has built.

"As one happy home owner expressed it, 'if I had been forced to see all these people, particularly the financial group I would never have owned a house. I was just too timid.'"

Not only did Dewey establish an organization to make exceedingly easy for people to acquire new homes but he also established an ideal to live up to, which his organization would always exert its best efforts—to provide well-designed, soundly-constructed homes in attractively-planned subdivisions, so restricted as to insure continuous permanency of value.

How well they have succeeded in attaining this ideal of actual construction is attested by a list of a large number of prominent people in their community who have selected them as their home builder, which list is published in the back of the booklet. One of these was Barton Cobb, the late district manager of the Johns-Manville Company. How well they succeeded further in carrying this ideal into the planning of homes, completed by various architects who have been retained by them from time to time, is evidenced in the two prewar houses and in the three postwar homes presented on these pages.

\* \* \*

### Metropolitan Home Builders Conference—

(Continued from page 79)

to Brass Tacks on What Home Buyers Really Want;" and Henry Obermayer, of the Consolidated Edison Company who spoke on "The Completed Home," and offered a plan embracing not only good construction and adequacy of space but adequate wiring and the inclusion of operating equipment in the realty mortgage of the future.

\* \* \*

### Let There Be Light—

(Continued from page 100)

contrast, according to the lighting engineers—that exist outside the circle of the usual incandescent lamp, are made disappear.

Function, style and value have been the aim of Sylvan in lighting the rooms, one of the company's engineers to your *American Builder* editor at the exhibit. The Center to be used as a laboratory for "continuing experiment with new residential lighting ideas and evaluation of them over sufficient period of time in their normal surroundings."

For actual examples of the functional use of lighting, see the illustrations on these pages. Especially interesting, in view of the expected wave of kitchen modernization expected postwar, is the lighting design of the kitchen shown here. Here the fixtures, as installed, simply follow the work surfaces, and are so arranged as to care for any existing kitchen layout. Continuous fluorescent lamps in strips do the trick and might be continued all around the kitchen, if desired.

## We are asking PROSPECTIVE HOME BUILDERS an unusual question

HOW OFTEN  
DO YOU EXPECT  
TO **REPLACE**  
HARDWARE—

IN YOUR HOME  
OF TOMORROW?



The answer, naturally, is "never." Hardware is a permanent construction item of the home and should be considered as such. Every moving part of your home depends on hardware. It is a part of every day living in

our current advertising to the prospective home builder we say—

"Make sure then for the home you are planning that hardware is given the consideration it deserves. Make sure first that your architect or contractor allows enough of the contract price for hardware—at least 2% is good building practice. Bring this matter up to him before specifications are written.

Within a week after you award your contract, select enough hardware—and durable, quality hardware of the style you want."

Home builders rely on you to give proper consideration to this permanent construction item. They will expect you to advise them on how much will assure adequate hardware.

At least 2% of the contract price set up definitely for hardware will mean satisfaction when the home is completed and will protect your reputation for sound advice.

If McKinney hardware is also recommended, that 2% will be certain to provide the right quality and good design as well as the required quantity of hardware for the home.

Write for a copy of McKinney's new booklet, "Details and Data on Hinges."



**McKINNEY**

SINCE 1865

MANUFACTURING COMPANY

PITTSBURGH 13, PENNSYLVANIA

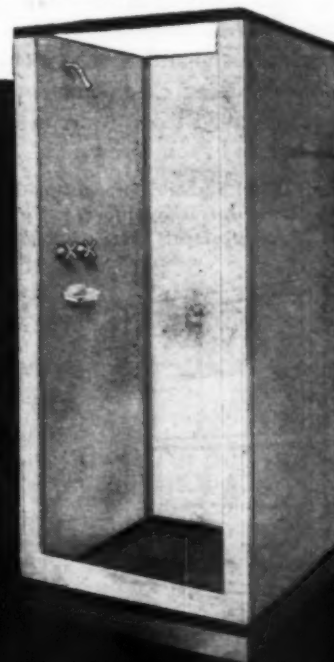
## SHOWER BATH CONVENIENCE IS PART OF MODERN LIVING!



INCLUDE A *Bathe-Rite* SHOWER  
CABINET IN YOUR NEW OR REMODELED HOMES

HEALTH AUTHORITIES endorse frequent shower bathing as a positive means for promoting better living. The convenience and pleasure of auxiliary shower facilities should be included in all homes designed for modern living.

"BATHE-RITE" SHOWER CABINETS are available now for present building needs, in your new or remodeled homes. Suitable for all types of structures. Simple to install, durable in construction, attractive in styling. Illustrated catalogue sent you upon request, or ask your jobber for details.



*Bathe-Rite*  
CABINETS

are available now  
in 32" x 32" and  
30" x 30".

**MILWAUKEE STAMPING COMPANY**

800-S South 72nd Street

Milwaukee 14, Wisconsin

## SIX STEPS OF PROTECTION IN THE PUBLIC INTEREST. . . (3rd of a Series)



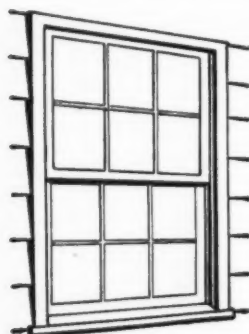
.... "That Mark?"

—it means lasting  
protection, Mrs. Brown!"

Just a small seal of approval—inconspicuously branded on a piece of woodwork. Yet to the architect, builder or homeowner, it spells confidence . . . confidence that the manufacturer has complied with minimum accepted standards of toxic preservation . . . confidence that the wood product it marks will have lasting usefulness.

Protection in the public interest is the primary objective of the NDMA seal of approval. For this seal provides outward, visible evidence of sound practice in the toxic preservative treatment of building woodwork, such as windows, doors, screens and frames. Backed by the judgment of responsible research chemists, the NDMA seal assures you that wood will continue to demonstrate its long life in the homes of tomorrow.

The NDMA Seal of Approval—available by license to all manufacturers and distributors who conform to the toxic preservative standards of the NDMA—represents these six steps of protection:



1. An efficient test for measuring effectiveness of toxic preservatives
2. Minimum standards governing the toxic preservative treating of woodwork products
3. A seal identifying products treated in conformity with NDMA Toxic Preservative Standards
4. Mill inspection of treating equipment and practices
5. Laboratory check-tests of preservative solutions
6. Educational effort in the public interest

NATIONAL DOOR MANUFACTURERS' ASSOCIATION  
McCORMICK BUILDING • CHICAGO, ILLINOIS



## Despard Manager Acoustical Department of Armstrong Cork

V. R. Despard, Jr., has been appointed manager of the acoustical department of the building materials division of the Armstrong Cork Company, it was announced by H. R. Peck, vice president and general manager of the division.

Mr. Despard entered the employ of the Company as a student salesman in the building materials division in 1937 a few months after his graduation from the Sheffield Scientific School of Yale University. After training, he was assigned to the Pittsburgh District Office for a short time and then transferred to the New York Office where he served until 1939, when he went to the main office in Lancaster, Pa. to handle promotional work on frozen food locker plants for the industrial insulation department. In 1941, Mr. Despard moved to the munitions division as a sales engineer on aircraft products, rising in 1942 to the post of manager of the aircraft department. He succeeds J. V. Jones who will devote his entire efforts to the development of the products in the Temlock department.

\* \* \*

## Johns-Manville Appointment

George Cary, of Johns-Manville, has been appointed Milwaukee district staff manager of the company's government department, it has been announced. In his new post, which he assumed July 1, Mr. Cary will have responsibility for sales and service to Federal and State agencies in Wisconsin, Minnesota, North Dakota and the Upper Peninsula of Michigan. Mr. Cary had been senior sales representative for Johns-Manville building materials in the Twin Cities. Earlier he held a senior sales job in the Racine-Kenosha area.

\* \* \*

## How To Plan An Electric Shop

(Continued from page 93)

through simple, but important window and store front treatment. For example, Pittsburgh Plate Glass store front design is so constructed that a consumer is led subconsciously into the store, fascinated by the display of appliances in the window. In the interior of the store cross-counter displays, appliance centers, crisscross aisles, play a part in getting the customer from one group of merchandise to another.

At the right side of a store, sawtooth planned background planes feature major appliances. The broken line is of greater interest, more stimulating, less fatiguing, and less inclined to streamline traffic past important sales areas.

Actual demonstration arrangements of major appliances are planned at back of store (1) as traffic magnet that will draw customers thru the store (2) to set the stage for final decision and purchase after preliminary inspection of models and (3) to stimulate additional purchases.

The model kitchen must be right in arrangement, but it must never be forgotten that the customer remembers the location of doors and windows in her own kitchen space limitations which prevent her from seeing the dealer model kitchen in her home.

In setting up the plan for the kitchen and laundry area the designer has thought of them as atmosphere demonstration units instead of "model kitchen" or "model laundry."

The over-all layout permits no "dead spots." If radio record players and records are to be presented also as feature merchandise, the flow of traffic is guided naturally to the back wall of store where these models invite inspection.

The office is, of course, placed at the rear of the store apart from the general merchandising area itself. This should be a place of privacy where the dealer can conduct his store business, keep his files and records, meet suppliers' salesmen, discuss matters of importance with his staff.

At the rear of the store, space is allotted for an air conditioning unit. For a store of this size a "packaged unit" makes a logical choice since it does not require a system of ducts for air distribution.

Finally, the service department of the radio and appliance store is important not only as a direct profit producer, but it is here that the dealer keeps his customers happy with the goods they buy, guaranteeing quality through trained installation and maintenance.



# The ONE-HAND SAW

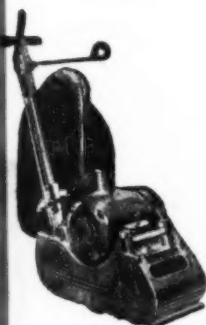


**Speedmatic**  
means  
**EASY SAWING!**

- Perfect Balance
- No Tiring Strain
- Broad Shoe—steady rest, no swerving, no cramping
- Blade enters cut at 7,000 rpm., practically feeds itself

ASK FOR BULLETIN WITH THE COMPLETE REASON-WHY OF THIS FINER POWER SAW!

## Speedmatic Floor Sander



"Feel of the floor adjustment"

Whether you're an old hand with a floor sander, or an inexperienced operator—you'll turn out a long day's effortless work in top-notch fashion with this newest Speedmatic! It's light, maneuverable as a jeep, and you'll think it has the power of a General Sherman Tank—and is instantly adjusted to the conditions of the moment! It all adds up to the finest Speedmatic we've ever built. It'll be yours the instant manufacturing conditions permit. Plan now to add this important unit to your postwar mechanized building or maintenance equipment!

**PORTER-CABLE  
MACHINE CO.**

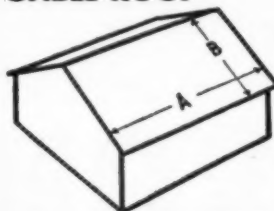
1721-7 N. Salina St., Syracuse 8, N. Y.

# A two-minute Lesson in HOW TO ESTIMATE A ROOF

4 BUNDLES EQUAL 1 SQUARE

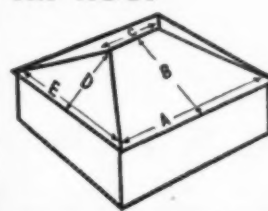


GABLE ROOF

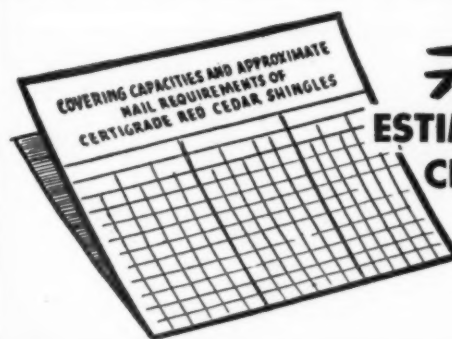


The length of the eave (A) is multiplied by the length of the roof slope (B), multiply by 2 to allow for the opposite roof slope. Convert to squares by dividing by 100.

HIP ROOF



Add the eave length (A) to the ridge length (C), multiply by the distance from eave to ridge (B). This gives area of side slopes. Multiply (E) by (D), for area of end slopes. Add the two totals and divide by 100.



**Free  
ESTIMATING  
CHART**

This chart gives you, at a glance, the covering capacity and approximate nail requirements for Red Cedar Shingles at all usual exposures. Also included are shingle and nail requirements for over-roofing, and for double-coursed sidewalls. The Certigrade Estimating Chart is yours for the asking. Address:

**RED CEDAR SHINGLE BUREAU**  
5508 White Bldg.  
Seattle 1, Washington

Canadian Office:  
Vancouver, B. C.



**Red Cedar  
SHINGLES**

# Structural, Reinforcing or other Bldg Steel Shipped from Stock

Write for Stock List—  
your guide to over 10,000  
different kinds, shapes  
and sizes of steel for quick  
shipment from ten plants.

Joseph T. Ryerson & Son, Inc. Plants at Chicago, Milwaukee, St. Louis,  
Cincinnati, Detroit, Cleveland, Buffalo, Boston, Philadelphia, Jersey City.

# RYERSON

## Pierce & Stevens, Inc., Transfers Dodds

Due to increased distribution of its products in the Middle West, Pierce & Stevens, Inc., of Buffalo, N.Y., has transferred James H. Dodds to Chicago, where he will be associated with R. S. Inglehart, sales representative of the same company. In addition to the Chicago area, Mr. Dodds' sales activities will include trade contacts in Wisconsin, Indiana and Ohio to supplement the existing sales service at those points.

\* \* \*

## Bodfish Discusses Veterans' Loan Program

The first anniversary of the presidential signature on the Servicemen's Readjustment act of 1944 found private lending institutions which implement Title III of the Act taking stock of the veterans' loan program provided by this legislation. Morton Bodfish, executive vice president of the United Savings and Loan League, said that obviously the 9,000 home loans for veterans which have been guaranteed to date "have been made under far less favorable circumstances than will in a short time prevail. Three reasons for the belief that the program will take vastly wider proportions this year were given by Bodfish in his bulletin to savings and loan associations.

1—Up until victory in Europe there was no large group of veterans interested in or eligible for a guaranteed home loan. That situation has completely changed by the prospect of the release of two million men in the coming months. 2—The way has been opened wide for veterans to build new homes right away. 3—"Reasonable, normal value" limitations on loans to veterans have been a drawback where a premium price level prevailed. "Very shortly, however, after we have seen a real start made in home construction," says Bodfish, "it will develop that new houses can be purchased at a price equivalent to their 'reasonable normal value.' This will set the price level or ceiling with regard to existing homes. Furthermore as the supply of housing increases the ground will be cut out from under previous prices."

LOOKS LIKE SOME ONE PLANNED AN INSIDE JOB



In post-war homes, built-in telephone facilities will be expected. Conduit to carry telephone wires between the walls to handy outlets costs little to install while the house is being built or remodeled. But it must be planned for in advance. Your telephone company will be glad to assist you in marking your plans.

BELL  
TELEPHONE  
SYSTEM



The public  
struction  
tions is, "you give  
Constructi  
tages of  
WOODTO  
repellent)  
termite,  
plus contr  
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**WOOD  
TOX**

The public is asking questions about the construction of new homes. One of those questions is, "How about treated lumber?" Can you give the answer? The answer is, "Better Construction." Learn all about the advantages of Treated Lumber.

**WOODTOX** (wood preservative and moisture repellent) controls decay, stain, mold, mildew, termites, lyctus beetles and wood borers... plus control of warping, shrinking, splitting, checking and grain raising. Gives a finer base for paint or varnish finish. Adds only insignificantly to the cost of construction.

**For the Termite Infested Building**

**TERRATOX** is a proven termite control. Applied to either wood or soil, its effect lasts over many years. The building contractor with his knowledge of construction and the help of **TERRATOX** is the man best equipped to do a thorough job of termite control.

**SEND FOR BULLETINS**... sent to architects, building contractors and lumber dealers, fully describing **WOODTOX** and its ease of application... and **TERRATOX**, giving a full and easily understood explanation of the "Whys" and "Hows" of termite control.

**WOOD TREATING CHEMICALS CO.**  
5137 Southwest Ave. St. Louis 10, Mo.

Sales Agents For **MONSANTO CHEMICAL CO.**  
Santophen 20, Santobrite and Permasans

**DEFIES**

Decay  
Warping  
Shrinking  
Termites

**TERRA  
TOX**

*Brand New Product!*

**ZONOLITE**  
*Acoustical* **PLASTIC**



**TROWELS OVER WALLS AND  
CEILINGS**

*To Reduce Noise*

**... NEW WORK OR REMODELING**

- Residences
- Offices
- Theaters
- Hotels
- Halls
- Cocktail Lounges
- Auditoriums
- Restaurants
- Bowling Alleys
- Swimming Pools
- Schools
- Churches
- Hospitals
- Institutions
- Shops, etc.

Contractors will be quick to profit from this important new development in sound-reduction materials. Zonolite Acoustical Plastic sticks to any clean, firm, water-resistant wall or ceiling. Applies with trowel to curved, ornate or any type of flat or irregular surface. Ornamental treatments may be used at will, or remain unchanged. Old cracked ceilings can be covered without removal or use of additional lath. With its high degree of sound absorption an efficient reduction of noise is assured. Doubly effective because both porous and resilient. Can be painted without loss of efficiency. Fills a long felt need, and opens to you many profitable opportunities *wherever noise is a nuisance.*

*Mail Coupon* **FOR DETAILS**



**UNIVERSAL ZONOLITE INSULATION  
COMPANY, Dept. AB-75**  
135 S. La Salle St., Chicago 3, Ill.

Universal Zonolite Insulation Co., Dept. AB-75  
135 S. La Salle St., Chicago 3, Illinois

Please rush full information about the new Zonolite Acoustical Plastic.

Name.....

Local Address.....

City.....State.....

*New Second Edition*

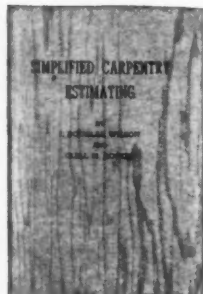
**SIMPLIFIED CARPENTRY ESTIMATING**

By **J. DOUGLAS WILSON**

Head of the Building Trades Department, Frank Wiggins  
Trade School, Los Angeles, California

and **CLELL M. ROGERS**

Mathematics Instructor, Venice High School,  
Venice, California



The second edition, expanded by nearly 50% in text, illustrations and tables, is now complete enough for the use of contractors and builders. The first edition was based on a series of articles which appeared in *American Builder and Building Age*.

How to "take off" from blueprints and specifications a bill of materials for the construction of a frame house is explained step by step. Rules and methods of making accurate material lists are given and there are many mathematical short cuts for saving time and increasing accuracy.

The tables with latest data will be found very helpful.

**CONTENTS**

Estimating Fundamentals — Foundation Material — Framing — Exterior Finish — Interior Finish — Hardware — Building Information — Estimating Short Cuts — Labor Hours Per Unit of Work — Carpentry Mensuration — Mathematical Reference Tables — Guide to Home Planning — Index.

1945. 2nd. 288 pages, 123 illus., 60 tables, 5x7, cloth, \$3.00.

**Book Department**

**American Builder and Building Age**

30 Church Street

New York 7, N. Y.



This popular priced, ultra-modern door is produced by **QUALITYBILT**—with hardware by **STANLEY**. Rot-proofed. Weatherstripped. Smooth Floating Action. Prefit for openings

# 'UNI-ROL'

(TRADE MARK)

## SWING-OVER-HEAD GARAGE DOOR



8'-0" wide by 7'-0" high, and 8'-0" wide by 6'-6" high. Requires only 1 3/4" head room. Easily installed—provides finest appearance.

Ask your Millwork  
Distributor

*Modern*  
**GARAGE DOOR  
CONVENIENCE  
AT LOW COST**

**Qualitybilt**  
WOODWORK

Sliding Window Units . . Basement Sash . . Units  
Front Entrances . . Deluxe Kitchen Units . . Victor Disappear-  
ing Stairways . . Unipak Wood Casements . . Farlo Unique  
Frames . . Farlo-Vent Ventilators . . Sash . . Doors . . Frames  
Screens . . Cabinet Work . . Stair Parts

### FARLEY & LOETSCHER MFG. CO.

ESTABLISHED  
1875

DUBUQUE, IOWA

70 YEARS  
OF SERVICE

### H-3 Volume Rises as H-2 Drops off

**F**EWER allocations are being made for H-2 housing (for non-resident war workers) as we approach the time when this type of housing is no longer needed for war production, Washington officials announced late in June.

At the same time NHA announces a sharp increase in the number of priorities issued for H-3 housing. In March there were 6,652 issued; April 7,901; in all there was a total through May 4 of 35,541.

H-3 is for extreme hardship cases and veterans honorably discharged; also for replacing houses destroyed by flood, fire or other hazard.

Of the total priorities issued under H-3, more than 6,000 have been granted to veterans who applied as such although a considerable additional number may have secured priorities as hardship cases, it was said.

\* \* \*

### Packed Full of Postwar Ideas

(Continued from page 86)

supply lines are perforated on top, allowing the heat to pass from them directly into the ducts in the floor tile proper, proceeding across the floor, to the south side, where they enter return lines back to the heating unit where the air is reheated, and recirculated.

An unusual amount of closet and drawer space is provided by the built-in wardrobes, cabinets and general utility units with special fittings to hold belongings in proper places. The kitchen is complete with new model range, refrigerator, automatic washing machine, garbage-disposal unit, ventilating system, built-in ironing board and specially designed cabinets. Utility room, adjoining kitchen, contains compact gas heating unit, clothes dryer, water softener, water heater and storage compartments for canned goods and supplies. Garage will adjoin the utility room.

A study of the picture shows these features and other ideas that may be the answers to the public demand for something new, not pre-war, for tomorrow's homes.

**UTILITY Appliance Corp.**

Air Cooling, Ventilating and  
Gas-Fired Heating Equipment

**EVAPORATIVE  
AIR COOLERS**

**FLOOR FURNACES**

**FORCED AIR  
FURNACES**

**FORCED AIR  
UNIT HEATERS**

**DUAL OUTLET  
FLOOR FURNACES**

You are invited to investigate the complete line of Utility evaporative air coolers, centrifugal blowers, propeller fans, floor furnaces, circulating heaters, unit heaters and forced air furnaces. Catalogs and illustrated literature will show you the outstanding features of these truly modern appliances.

Utility coolers, blowers and fans are now available under WPB regulations and priorities. Heating equipment will be available when war restrictions are lifted to permit manufacture.

## UTILITY Appliance Corp.

Formerly Utility Fan Corporation

4851 S. ALAMEDA STREET • LOS ANGELES 11, CALIFORNIA

(for when action, use in March total, probably 1, fire 6,000 enough priorities, pass, pro- enter eated, ovided units. The auto- lating bins. eating storage ill ad- ideas ething

# Majestic

## CIRCULATOR FIREPLACE



**Radiant Blades Add 91% More Heat-Radiating Surface**

**Adjustable Frame Fits Unit To Any Mantle Design**

**Cuts Installation Time Simplifies Masonry Work**

You take the guess work out of fireplace construction — get perfect results every time with a MAJESTIC Fireplace Unit! The proportions of the fireplace are predetermined, giving correct draft, smoke-free burning, and simplified masonry work. Adjustable frame allows any style of mantle to be used. Cool air drawn in at floor level is heated as it flows past the patented Radiant Blades (which increase heating surface 91%), and distributed through warm air grilles at mantle level, heating the entire room. Write today.

*Nationally Known and Advertised for 40 Years*

**The MAJESTIC Co.**  
1006 Erie St., Huntington, Ind.

**Also Outdoor Fireplaces, Underground Garbage Receivers, Incinerators, Dampers, Coal Chutes, Many others**

# SLIPIT

REG. U.S. & CAN. PAT. OFF.

## NEW 5 WAY

## LUBRICATING FORMULA

Lubricant Penetrant De-Ruster Polish Cutting Oil

### CARPENTERS

Excellent lubricant for saws, miter boxes, auger braces. An effective rust preventive. Makes driving screws into hard wood easy.

### PLUMBERS

Superior aid in threading and tapping. A powerful penetrant; loosens rusted pipe joints, nuts and bolts with amazing ease. Keeps all tools in A-1 condition.

### MASONS

Prevents concrete from adhering to your trowels and forms.

### HOME OWNERS

Especially compounded to keep windows and doors working freely. Retards swelling.

**Get SLIPIT at all good Hardware Stores**

**25c 60c \$1.20**

Larger sizes available through your supplier

**SLIPIT penetrates faster—stays longer**

Slipit Products Inc. 169 Water Street New York City

## What difference does it make?

Why is the cutter in the Stanley-Carter J5 Power Plane spiral instead of straight as in the conventional cutter? Because it gives a *continuous* shearing cut instead of a succession of "bites" that leave chatter marks and edge splinters.

Even at 18,000 r.p.m. . . . even against the grain and when bevel cuts are up to 45° . . . this Carter Plane gives a finished surface that needs no sanding.

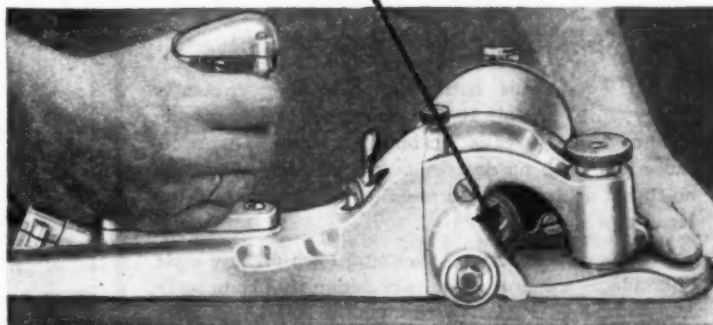
The Carter J5 gives you that smooth finish on door, sash, screen and similar work 3 to 5 times faster than you could get it with hand tools. Although it develops a full h.p., it weighs only 16 lbs. and planes surfaces up to 2½" wide.



### Sharpens its own cutter

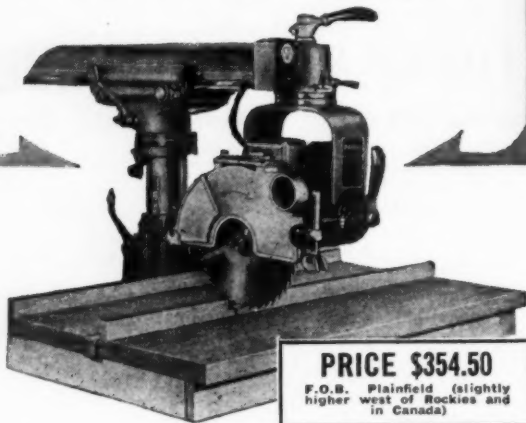
A simple grinding attachment which comes with each plane restores the sharp-as-new edge in a matter of minutes.

Two other Stanley-Carter Planes are available. Write for information. Stanley Electric Tools, Stanley-Carter Sales Dept., 133 Elm Street, New Britain, Connecticut.



**CARTER STANLEY TOOLS**

## This **UNIVERSAL HEAD** Simplifies COMPLICATED CUTTING OPERATIONS!



**PRICE \$354.50**

F.O.B. Plainfield (slightly higher west of Rockies and in Canada)

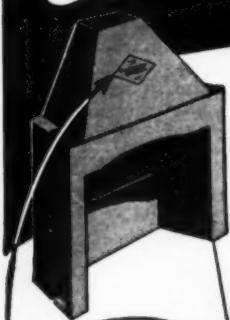
The head on a Walker-Turner Radial Saw can be quickly set to cut at any angle. Cuts wide shapes in wood, metal, plastics,—all materials. Will dado, trench, miter, rip, cross-cut, even operate with motor in vertical position. Write today for complete information. Walker-Turner Company, Inc., Plainfield, N. J.



## MACHINE TOOLS

DRILL PRESSES — HAND AND POWER FEED • RADIAL DRILLS  
METAL CUTTING BAND SAWS • POLISHING LATHES • FLEXIBLE SHAFT MACHINES  
RADIAL CUT-OFF MACHINES FOR METAL • MOTORS • BELT & DISC SURFACES

## Build Better Fireplaces



Look for the name;  
there is ONLY ONE  
"HEATILATOR"

with  
**HEATILATOR**  
the Fireplace  
that Circulates Heat

● Equip every house you build with this better fireplace that circulates heat. It is a powerful sales feature in the house, and is easier to build correctly. That's because you have no damper or smoke-dome to install, no throat or firebox to form—they're all built into the Heatilator.

The Heatilator serves as a metal form for any style of fireplace—eliminates faults of design that commonly cause smoking. Plan now to install a Heatilator Fireplace in every house you build.

HEATILATOR, INC., 517 E. Brighton Ave., Syracuse 5, N. Y.

## Newton Joins Evans Engineering

D. A. Newton has joined the F. J. Evans Engineering Company, Birmingham, Ala., with branch offices at Atlanta and Houston, as air conditioning engineer of the heating and air conditioning division. Mr. Newton will make his headquarters at the Atlanta office. Before joining the F. J. Evans Company, Newton was chief engineer of Larkin Coils, Inc., Atlanta, manufacturers of air conditioning equipment. Prior to that he was with U. S. Rubber Company, and for twelve years with Carrier Corp.

\* \* \*

## ABC's of Slum Clearance

(Continued from page 87)

communities gradually clear their costly and disgraceful slum areas. Private enterprise accelerates its normal operations of supplying the market with good housing with the natural result that pressure is relieved and a logical filtering-up process takes place. Second and third hand housing goes to those who require it at a price they can afford to pay. The indigent, unfortunate and less successful families are properly assisted in securing satisfactory shelter.

These procedures accomplish no over-night miracles but they are entirely in accordance with the democratic pattern of our American economy. They will meet the housing needs far quicker and more satisfactory than any conceivably workable program of socialized public housing. As educational and training facilities improve as industry provides better wage incomes, and as the whole economy prospers, so will the process be accelerated. Neither the Federal nor the local treasuries are depleted. Unfortunate individuals are not made permanent wards of government, the home building industry is preserved and the housing needs of each community are met by an equitable, sound and proven American process.



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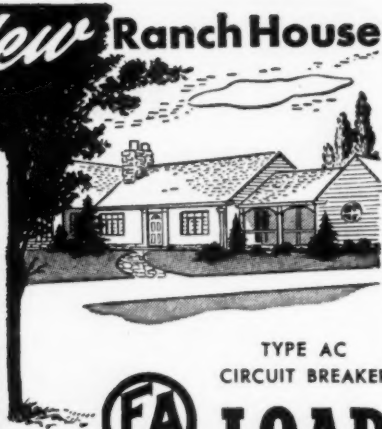
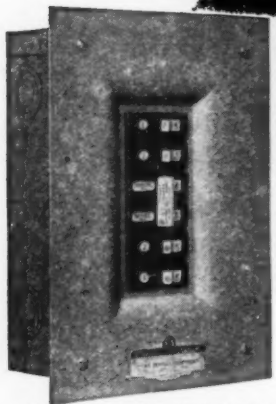


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## Preparing Building Industry for Post-war Employment Justifies Use of Every Effort for 1946 Exposition—Van Auken

"THE importance of the nation's home building industry in providing employment and stimulating business activity during the reconversion period is so great that the National Association of Home Builders would be derelict if it did not use every resource at its command in an effort to prepare the vast home building industry so that it can be catapulted into action the moment conditions permit," declared Paul S. Van Auken, just appointed convention and exposition director for NAHB. "Of course, we are being guided entirely by the progress of events, as we have no intention of doing anything to detract from the nation's war effort against Japan. However, our responsibility to the peace time economy of the nation cannot be ignored." He was speaking of the 1946 convention and exposition of the NAHB to be held February 25 to 28 inclusive.

"Now that the nation's home builders can look with assurance to the day when they can begin building to satisfy the pent-up demands for millions of new homes, I am confident that the interest in a complete home building exposition will attract a record attendance," Van Auken stated, in explaining that it was necessary to obtain maximum accommodations for such anticipated attendance. Because of the plan to make this the largest affair of its kind ever staged, the convention and exhibition facilities of the world's largest hotel—The Stevens—will be used.

The feature of the convention and exposition will be a complete showing of materials, products and equipment needed to build tomorrow's American home. It will reveal to the builders of America the very latest ideas and developments of science and industry in the construction field.

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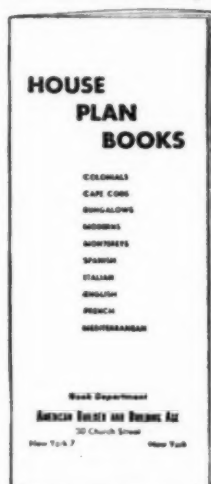
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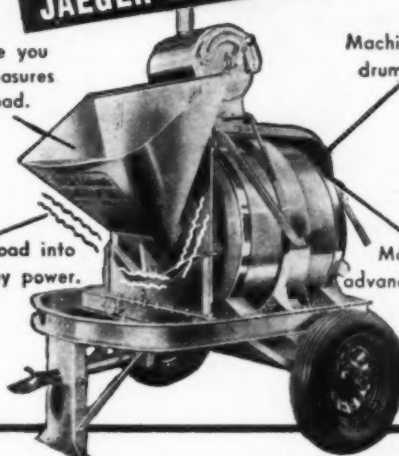
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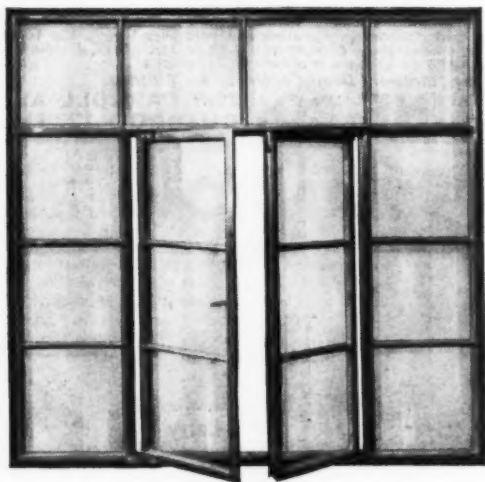


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